

United States Department of the Interior
National Park Service

National Register of Historic Places Registration Form

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in National Register Bulletin, *How to Complete the National Register of Historic Places Registration Form*. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions.

1. Name of Property

Historic name: 3157 Hayden Street

Other names/site number: 3-1-019-085-0000

Name of related multiple property listing:

N/A

(Enter "N/A" if property is not part of a multiple property listing)

2. Location

Street & number: 3157 Hayden Street

City or town: Honolulu State: Hawaii County: Oahu

Not For Publication: ☐ Vicinity: ☐

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act, as amended,

I hereby certify that this ___ nomination ___ request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60.

In my opinion, the property ___ meets ___ does not meet the National Register Criteria. I recommend that this property be considered significant at the following level(s) of significance:

___national ___statewide ___local

Applicable National Register Criteria:

___A ___B ___C ___D

Signature of certifying official/Title:

Date

State or Federal agency/bureau or Tribal Government

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In my opinion, the property ___ meets ___ does not meet the National Register criteria.

Signature of commenting official:

Date

Title :

State or Federal agency/bureau
or Tribal Government

4. National Park Service Certification

I hereby certify that this property is:

___ entered in the National Register

___ determined eligible for the National Register

___ determined not eligible for the National Register

___ removed from the National Register

___ other (explain:) _____

Signature of the Keeper

Date of Action

5. Classification

Ownership of Property

(Check as many boxes as apply.)

___ Private:

☒

___ Public – Local

☐

___ Public – State

☐

___ Public – Federal

☐

Category of Property

(Check only **one** box.)

___ Building(s)

☒

___ District

☐☐

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☐ Site

☐ Structure

☐

☐ Object

☐

Number of Resources within Property

(Do not include previously listed resources in the count)

Contributing

Noncontributing

1

buildings

sites

structures

objects

1

Total

Number of contributing resources previously listed in the National Register _____

6. Function or Use

Historic Functions

(Enter categories from instructions.)

DOMESTIC

Current Functions

(Enter categories from instructions.)

DOMESTIC

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7. Description

Architectural Classification

(Enter categories from instructions.)

LATE 19TH AND EARLY

20TH CENTURY AMERICAN

MOVEMENTS

Bungalow/Craftsman

Materials: (enter categories from instructions.)

Principal exterior materials of the property:

Foundation wood/post and pier

Roof wood shingles

Walls wood

Other lava Rock/concrete

Narrative Description

(Describe the historic and current physical appearance and condition of the property. Describe contributing and noncontributing resources if applicable. Begin with a **summary paragraph** that briefly describes the general characteristics of the property, such as its location, type, style, method of construction, setting, size, and significant features. Indicate whether the property has historic integrity.)

Summary Paragraph

The Craftsman/Bungalow single-family dwelling at 3157 Hayden Street is located in the Naniloa Tract Subdivision in the Kapahulu neighborhood of Honolulu, Hawaii, on the island of Oahu. The home, constructed in 1937 is 1,007 square feet and sits on a 5,291 square foot lot. It is raised, single story, sits on post and pier footings, obscured by wooden lattice skirt. The home is rectangular in plan and has two intersecting gable roofs. Two unobtrusive shed roofed additions undertaken in 1959 do not detract or compromise the historic integrity, characteristics, or overall feeling of this Hawaiian bungalow.

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The home is a single-story wooden, single wall, rectangular shaped, with tongue and groove construction and a single girt encircling the home. The front façade is distinguished by four over two narrow double hung rectangular windows bordering a 10-light glass paneled front door. A French style entryway door and wooden screen appear to be original. Windows are all box framed with eared corners. Other significant features include “snowflake” detailing on fascia boards, steeply pitched rake rafters, and lattice ventilation beneath gables. A concrete stairway, bordered by lava rocks and an iron railing leads to the front entryway. One particularly striking feature is the steeply pitched canopy gable over the front door. Sidewalks with a landscaped green strip between the walkway and the curb/road, and a 16” setback from Hayden St. retain the original feeling of modest cottages in this strictly residential tract of the mix-used development characterizing the Kapahulu neighborhood. 3157 Hayden Street retains a high degree of integrity with only minor alterations undertaken to comply with modern building code or because of safety issues. These alterations or additions are compatible with the overall design and style of the home, while preserving essential character defining features of the Hawaii regional bungalow.

Narrative Description

The 1,007 square foot home is of rectangular shape, featuring protruding and receding bays that add depth and variation to the asymmetrical front façade. Its single story is divided into a living room/kitchen, 4 bedrooms, one bathroom and a bathroom/laundry room. The entrance to the home is via five concrete steps, lined with lava rock with black metal railings on either side. The home is entered through a wooden, 15 sectioned screen door with original door knob. A 10-light windowed original door swings inward to an open floor plan for the living room/kitchen. Bedrooms and bathrooms are accessed to the right and left of this central room. As is common with Hawaiian bungalows, no hallway exists between the living area and the bedrooms. The flooring includes carpet in the living room side and tile in the kitchen. The original hard-wood flooring remains intact beneath. The walls are wood and retain original built-in wooden and glass windowed cabinetry on the makai side of kitchen. The master bedroom Also on the makai side of the main living area is. A full bathroom with commode, vanity and shower is between the master bedroom and the second and third bedrooms on the makai (south) side of the home. The fourth bedroom is also within a shed addition on the mauka side of the home. Just past this bedroom addition, is a rear entryway, screened by a partition wall. Halfway down the wall supports extend on either side of wooden storage cabinets that sit on a foundation of mortared bricks. Three cement stairs lead to the rear door, which opens directly into the kitchen. Attached to the rear of the home is a combination laundry room and bathroom contained within a second shed addition. Non-contributing windows and concrete, mortared blocks extend up to the windows of this utility room. A doorway opens to ground level from this combination wood and concrete block addition. To the left of this doorway, a transom one over one wooden screen swings outward from a one over one double hung window. This shed addition is attached directly to the back of the rear bedroom on the Makai side of the original home. Here the girt, interrupted by the addition picks up again from the side of a one over one double hung window in a box frame.

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This girt then wraps around an outside corner post and intersects two four over one double hung windows in boxed frames. Again the girt picks up and leads to two more four over one double hung windows identical to the two on the rear Makai side of the house. Above the continuation of the girt is a small, jalousied window that ventilates the bathroom. The girt wraps around the southwest corner post and meets the beginning of the wall of the front bay of the home. At the bottom of the exterior walls, just above the horizontal skirting a board with a raised, rounded piece of molding runs around the bottom of the home, and separates the end of the walls from the post and pier foundation. This detail gives the home a balance, highlighted by its off-white paint matching the fascia boards, boxed window frames, girt.

This single wall, tongue and groove wooden bungalow features original double hung windows in boxed frames with notched/eared out corners. The intersecting double-hipped, gable roof is covered in wooden shingles. Lattice work covers the ventilation openings at the gable ends. Decorative fascia boards inlaid with snowflake detailing, and notched ends add charm to the façade¹. Exposed, overhanging eaves terminate in a soffit and bargeboard. The front gable features a belt band, above which decorative purlins dot the underside of a horizontal corniced, wooden frieze. The second gable on the front of the home is double hipped with an overhanging eave. Curved, decorative rafters add finished detail to the eaves just under the eaves of this recessed gable. On the overhanging eaves on the sides, rear and front gable of the home, rafter ends are straight and do not feature decorative millwork.²

A prominent feature of the front façade is the steeply pitched canopy above the front door. This wood shingled canopy intersects the hipped overhang of the second gable of the main roof. Decorative fascia follows the steep pitch of the rake and features snowflake detail at the top and the ends. The support brackets for this canopy feature a scalloped millwork pattern. Two wooden support beams extend from the ends of an enclosed wooden overhang beneath the canopy. The front door opens inward and contains 10 lights and appears to be the original. A 15-light screen door opens out across the cement stoop.

The home features varying types of double hung windows. The forward bay of the home contains two large, side by side six over one paned double hung windows in a boxed frame. On the makai side of this bay there is a single, four over one double hung window also contained within a box frame. On the mauka side of the front bay the double-hung boxed frame and sash remain, but the panes have been replaced with jalousies. Flanking each side of the front door are rectangular four over one double hung windows in boxed frames. These appear to be original. On the mauka side of the bay containing the front entryway, a bump out frame contains two rectangular four over one double hung windows. These are of a vinyl material. A shed roofed addition on the mauka side of the home features two four over one, narrow rectangular double hung windows in boxed frames that echo those on either side of the front door. Two wider

¹ *Historic Resources Inventory Sheets*, 3157 Hayden St., Honolulu 96813, October 21, 1978

² Lafayette Sash and Door Factory, *Standard Miniature Millwork Design Book*, p 222, Lafayette, Louisiana, 1928

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double hung windows open to the mauka and diamond head side of this single bedroom addition. Two transom one over one screens block dust from entering through the side by side, one over one double hung kitchen windows. Two side by side windows within a partition wall that screens the back entryway face mauka and contain jalousie panes. Wooden slatted ventilation spans horizontally above these two jalousie windows.

The raised home sits on post and beam construction with concrete pier footings. Horizontal wooden skirting wraps around the base of the home, concealing the structural elements of the home and the exposed plumbing beneath it.

3157 Hayden Street is prominently located on the northwest corner of Campbell Avenue and Hayden Street. Diamond Head crater looming 700 feet above less than a mile away, is a formidable part of the setting. Additionally, the Martin House, the first home built in the subdivision, is visible from the property. Characterized by a generous 16' setback from the street, 3157 Hayden Street retains the original intended feeling of the place as a country or suburban cottage with an ample yard in front. The sides of the house vary in setback as there is a projecting shed addition on the mauka side, but is no closer than 10' from the curb or neighbors on all sides. This rectangular home was sensitively built to best use the narrow, long lot while preserving open space around the structure for natural elements. The landscape surrounding the house is a mixture of green space and poured concrete. The front and mauka facing side of the home includes a lawn, and plantings of palm and dracaena or "money" trees that span the width of the front façade. This lawn and plantings then extends the length of the mauka side behind the bathroom/laundry room shed addition on the rear of the home. The plantable area terminates as it meets the makai corner of the home, where the poured concrete begins and wraps around to the front or ewa side of the home. The green space around the home adds to its historic feeling, as many other homes in the subdivision have smaller lots, or have lost their green space through additions or redevelopment.

Additions and Alterations

Wooden support posts were added underneath the gabled canopy above the front door. This was done when foundation work-- necessary to meet current building codes for an interior, permitted addition—was completed in 2015. Structural assessments indicated that the canopy had become unstable, and a licensed engineer recommended the supports both for safety and to comply with current building codes. These simple, square posts measuring approximately 4" x 4" are now painted in the same off-white colors of the façade, window frames, and girt and do not detract from the historic integrity of the home.

Two-shed additions, built in 1959 are in keeping with the tongue and groove wooden single wall construction of the rest of the home. The addition visible from the front of the home contains like-kind double hung windows that mimic those along the front façade. The rear addition, constructed of cement blocks on the bottom half and wood on the top is not visible from the front or side of the home and does not detract from the overall integrity or feeling of this historic bungalow.

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A rectangular two-car garage constructed of redwood side by side paneling with lattice ventilation along both long sides constructed in 1959 was raised in order to build a garage and ohana unit behind the home. This two bedroom, one bath addition is a two-story structure with a two car garage beneath and a wooden, exterior staircase allowing access to the upper unit. This modern addition, completed in 2016 is not visible when standing on Hayden Street, looking toward the front façade of the home. Therefore, though this addition does change the original height of buildings on the property, it did not change the original footprint or massing of the self-contained 1937 bungalow on the front half of the rectangular lot. (Please reference the approved architectural plans submitted with this nomination for further details on the two-story addition that sits on the back portion of the lot at 3157 Hayden Street.)

Interior Alterations

The bump out double hung windows on the entryway bay of the home retain their original boxed frame and sash but due to deterioration of the original have been replaced with vinyl, modern safety glass. This decision was also governed by safety as these windows extend outward from a wooden bench where people sit and could possibly lean backward.

Along the same wall as this bump-out bay window, a wooden cabinet with French glass doors and a wooden cabinet beneath it has been removed. Construction methods and original hardware on these cabinets suggest they were a part of the original built-in cabinetry of the home.

Between the entryway/living room area and the kitchen, a non-weight bearing partition wall has been removed. On the kitchen side this wall supported some storage cabinets that were likely added in the late 1950s or early 1960s, when the shed additions were built.

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8. Statement of Significance

Applicable National Register Criteria

(Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing.)

☐

A. Property is associated with events that have made a significant contribution to the broad patterns of our history.

☐

B. Property is associated with the lives of persons significant in our past.

☒

C. Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.

☐

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- D. Property has yielded, or is likely to yield, information important in prehistory or history.

Criteria Considerations

(Mark "x" in all the boxes that apply.)

☐

A. Owned by a religious institution or used for religious purposes

☐

B. Removed from its original location

☐

C. A birthplace or grave

☐

D. A cemetery

☐

E. A reconstructed building, object, or structure

☐

F. A commemorative property

☐

G. Less than 50 years old or achieving significance within the past 50 years

Areas of Significance

(Enter categories from instructions.)

ARCHITECTURE

Period of Significance

1937

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Significant Dates

1937

Significant Person

(Complete only if Criterion B is marked above.)

Cultural Affiliation

Architect/Builder

Statement of Significance Summary Paragraph (Provide a summary paragraph that includes level of significance, applicable criteria, justification for the period of significance, and any applicable criteria considerations.)

3157 Hayden Street qualifies for the State Register of Historic Places criteria C. Under Criteria C, it embodies distinctive characteristics of a type, period, or method of construction. It is significant as an example of the Craftsman/Bungalow style embodying "Hawaiian Regional" influences. Its simple, yet distinctive construction includes techniques and designs associated with functional, climate sensitive Bungalows constructed in Hawaii during this time period.

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Narrative Statement of Significance (Provide at least **one** paragraph for each area of significance.)

Criteria C

Under Criteria C, 3157 Hayden Street embodies the distinctive characteristics of a type, period, or method of construction. It is significant as an intact example of the Craftsman/Bungalow style. This style of architecture became popular in southern California in the late 1800s and early 1900s before making its way to Hawaii.³

The Craftsman/Bungalow style emphasis on natural materials was well suited to Hawaii. Construction methods blended with the landscape and features such as low, overhanging eaves and double hung windows allowed natural cooling, providing comfort in Hawaii's warm climate.

The Hawaiian Bungalow and the Middle Class

The types of cottages that were built in the Kapahulu Tract were designed and marketed to middle class families. An advertisement taken out in the *Honolulu Star Bulletin* in 1925 makes an appeal with a graphic of a portion of the Kapahulu Tract, "For the Man of Moderate Means." This advertisement and others of its kind highlighted the area's proximity to Kapiolani Park and Diamond Head and pointed out that the car line and the beach was only a short walk and promised the neighborhood was an excellent one in which to live. In 1925, lots in the Kapahulu Tract (now Naniloa Tract) sold for \$1250 each for 5000 square feet. This particular offer by the Union Trust Company Ltd., further appealed to the middle class income level with an attractive payment plan of 25% down with the remainder of the balance to be paid in monthly installments.⁴

By 1937, when 3157 Hayden Street was constructed, many Craftsman, Bungalow homes were already extant in the Naniloa tract and Kapahulu Tract subdivisions. The prevalence of these modest bungalows by the 1920s, 1930s, was such that a home such as this, on with a generous setback, front porch, lava rock lined steps, girt, overhanging eaves and double-hung windows became identified locally as a "Hawaiian Style" of architecture.⁵

³ Palumbo, Lorraine Minatoishi, Ph.D., AIA. "3405, 3409A, 3409B Wela Street, 3544 Trouseau Street/Yee/Tom Court," National Register of Historic Places Nomination Form, Minatoishi Architects, Inc., Nov 15, 2009.

⁴ "For the Man of Moderate Means," Real Estate Advertisement, *Honolulu Star Bulletin* Apr. 17, 1925.

⁵ Palumbo, Lorraine Minatoishi, Ph.D., AIA. "3405, 3409A, 3409B Wela Street, 3544 Trouseau Street/Yee/Tom Court," National Register of Historic Places Nomination Form, Minatoishi Architects, Inc., Nov 15, 2009.

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9. Major Bibliographical References

Bibliography (Cite the books, articles, and other sources used in preparing this form.)

Achi's Kapahulu Tract. Portion of L.C.A. 8559 B, Register Map 1903

Directory of Honolulu and Island of Oahu, "Kalahulu," A-Z entries 1898.

Hibbard, Don and Nathan Napokal. "Fort Ruger Historic District." National Register of Historic Places Nomination Form. Dept. of Land and Natural Resources, Mar 20, 1980.

"Kaimuki a Brief History." Historic Hawaii Foundation. www.historichawaii.org, May 23, 2014. accessed Aug 5, 2016.

Nanihoa Tract Kapahulu. Section B Land Court Application 842, Zone 3, Section 1, Plat Map 19

Palumbo, Lorraine Minatoishi, Ph.D., AIA. "3405, 3409A, 3409B Wela Street, 3544 Trousseau Street/Yee/Tom Court." National Register of Historic Places Nomination Form. Minatoishi Architects, Inc., November 15, 2009.

Soderquist, Dawn. "Diamond Head- Special District Design Guidelines." *Hawaii Life* May 28, 2015.

Johnson,

Hawaii State Historic Preservation Office. "Historic Resources Inventory Form, 3157 Hayden Street." October 21, 1978.

Government Land around Leahi, Kapahulu. Kona, Oahu, 1883

Map of Lots at Kapahulu. Kona, Oahu 1896

"Opening Up a New Residence District Near the Parkl." *Pacific Commercial Advertiser* (Honolulu, HI), Feb. 15, 1899.

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Previous documentation on file (NPS):

- ☐ preliminary determination of individual listing (36 CFR 67) has been requested
☐ previously listed in the National Register
☐ previously determined eligible by the National Register
☐ designated a National Historic Landmark
☐ recorded by Historic American Buildings Survey # _____
☐ recorded by Historic American Engineering Record # _____
☐ recorded by Historic American Landscape Survey # _____

Primary location of additional data:

- ☒ State Historic Preservation Office
☐ Other State agency
☐ Federal agency
☐ Local government
☐ University
☐ Other
Name of repository: _____

Historic Resources Survey Number (if assigned): _____

10. Geographical Data

Acreage of Property 5291 SF, .1215 acres

Use either the UTM system or latitude/longitude coordinates

Latitude/Longitude Coordinates (decimal degrees)

Datum if other than WGS84: _____

(enter coordinates to 6 decimal places)

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- | | |
|--------------|------------|
| 1. Latitude: | Longitude: |
| 2. Latitude: | Longitude: |
| 3. Latitude: | Longitude: |
| 4. Latitude: | Longitude: |

Or

UTM References

Datum (indicated on USGS map):

☐ NAD 1927 or ☐ NAD 1983

- | | | |
|------------|--------------------|----------------------|
| 1. Zone: 4 | Easting: 623255.25 | Northing: 2352731.68 |
| 2. Zone: | Easting: | Northing: |
| 3. Zone: | Easting: | Northing: |
| 4. Zone: | Easting : | Northing: |

Verbal Boundary Description (Describe the boundaries of the property.)

The boundary for the property located at 3157 Hayden Street include all the property defined by TMK: 3-1-019:0850000, owned by Derek George and Erin George-Kaauwai, in August 2016.

Boundary Justification (Explain why the boundaries were selected.)

The boundary was selected because it is the legal property boundary defined in the TMK Parcel information sheet obtained at the City and County of Honolulu Real Property Assessment Division for lot 49-A, Map 22, LCA App 842.

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11. Form Prepared By

name/title: Kai E. White
organization: _____
street & number: 1473 Ainakoa Ave.
city or town: Honolulu state: HI zip code: 96821
e-mail kaielizabethwhite@gmail.com
telephone: (808) 721-6879
date: August 11, 2016

12. Owner Information

name Derek George and Erin George-Kaauwai
street & number 3010 S. Hill St. city or town Arlington, VA zip code 22202
e-mail erinkaauwai@gmail.com

Additional Documentation

Submit the following items with the completed form:

- **Maps:** A **USGS map** or equivalent (7.5 or 15 minute series) indicating the property's location.
- **Sketch map** for historic districts and properties having large acreage or numerous resources. Key all photographs to this map.
- **Additional items:** (Check with the SHPO, TPO, or FPO for any additional items.)

USGS Map Honolulu Quadrangle 7.5 minute series

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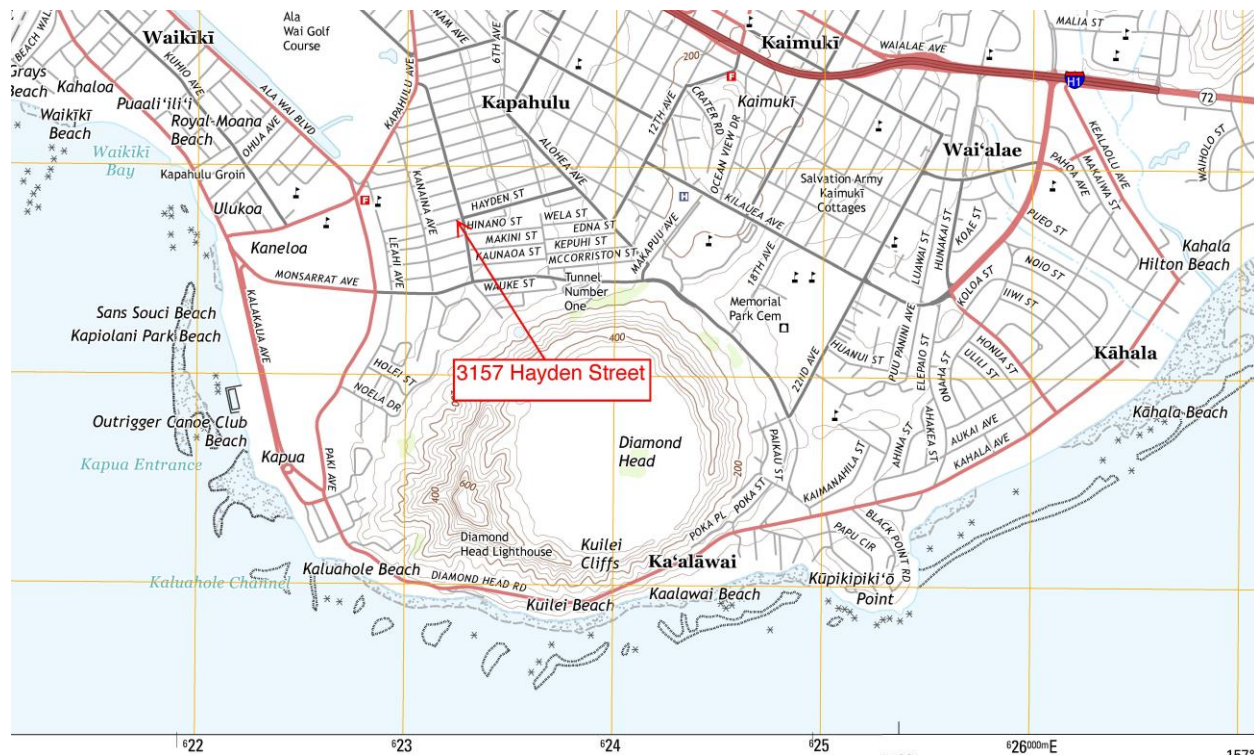


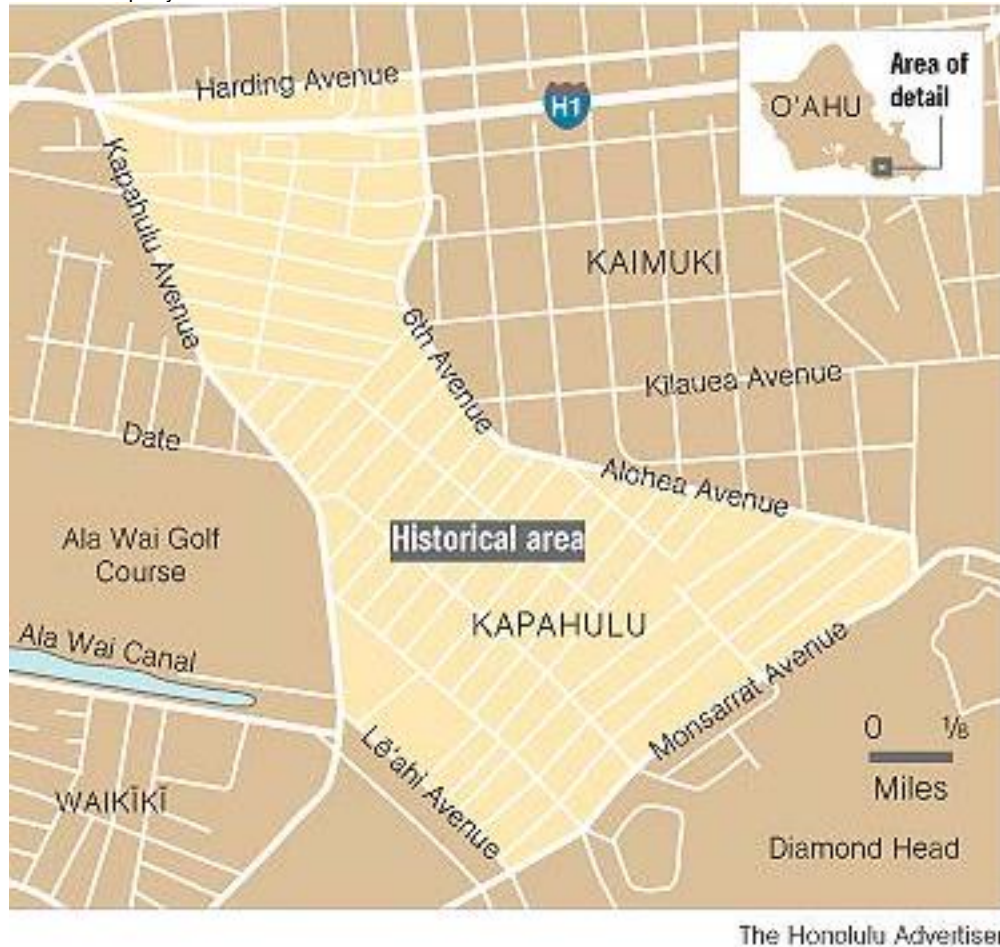
Fig 1. Illustration showing boundary of historic Kapahulu

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TAX MAP 1938, Revised 1980. Source, Tax Map branch

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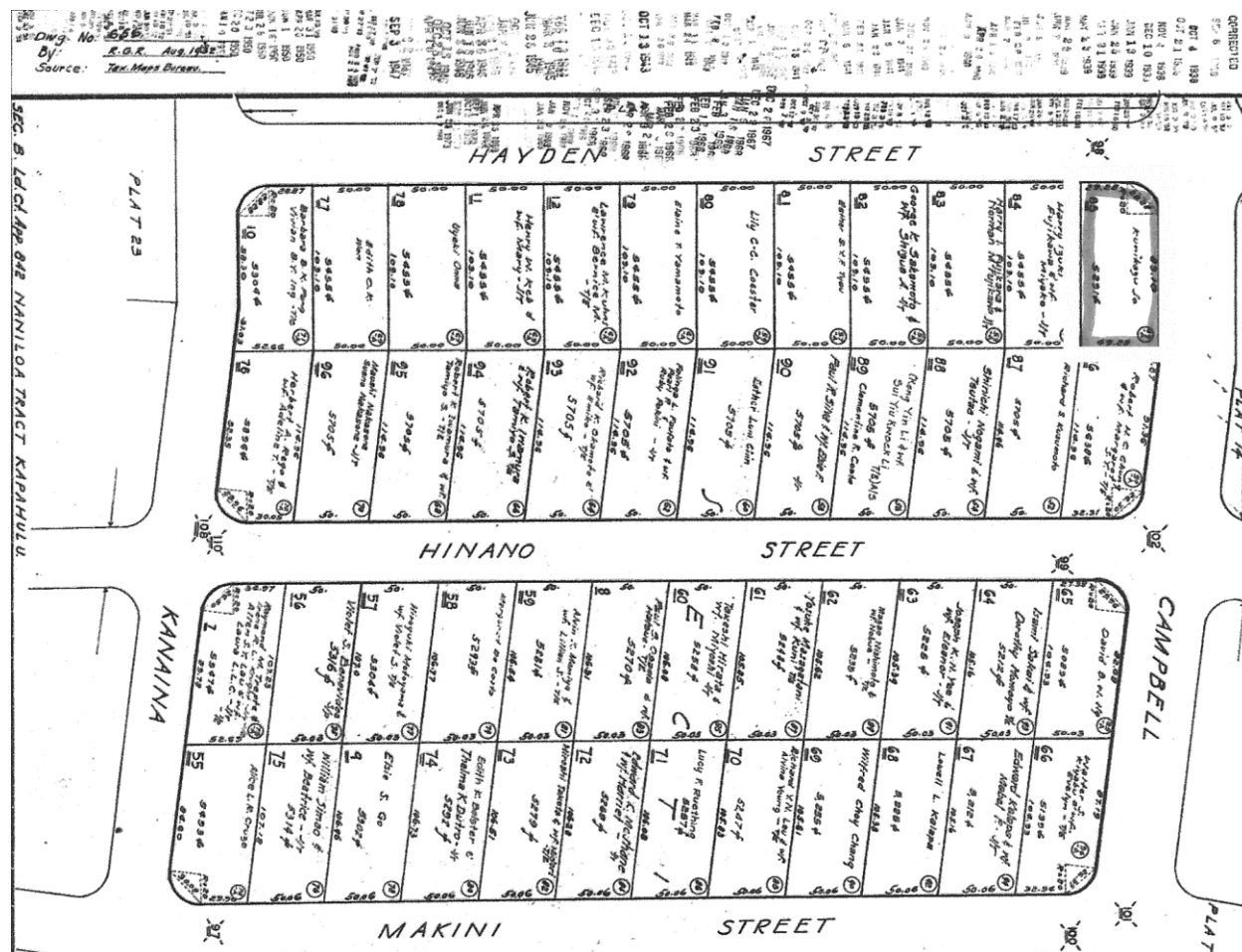
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Parcel 85 (now lot 49), circled in grey, on the corner of Hayden and Campbell was named the Kunikazu Jo parcel after a long time owner. In 2015 the property was purchased by the George-Kaauwai family.



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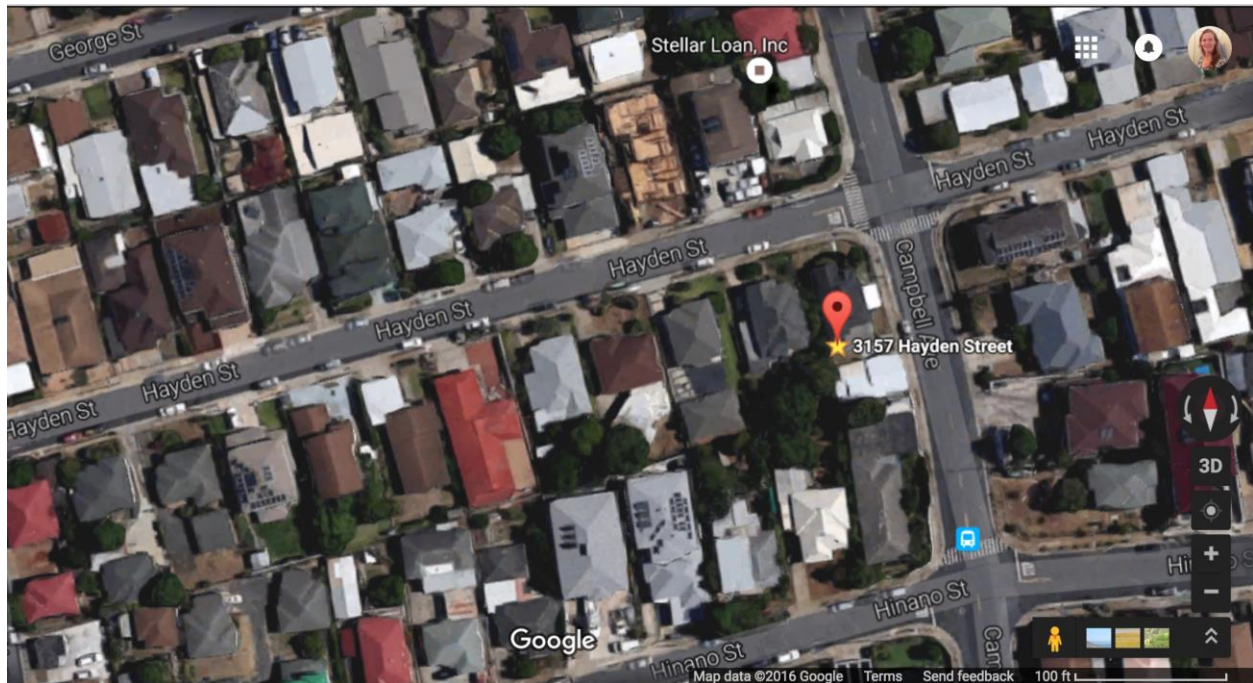
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SATELLITE VIEW OF 3157 HAYDEN STREET

Downloaded from Google Maps, August 2016

Red Google locator indicates property



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Photographs

Submit clear and descriptive photographs. The size of each image must be 1600x1200 pixels (minimum), 3000x2000 preferred, at 300 ppi (pixels per inch) or larger. Key all photographs to the sketch map. Each photograph must be numbered and that number must correspond to the photograph number on the photo log. For simplicity, the name of the photographer, photo date, etc. may be listed once on the photograph log and doesn't need to be labeled on every photograph.

Photo Log

Name of Property: 3157 Hayden Street

City or Vicinity: Honolulu

County: Oahu

State: HI

Photographer: Kai E. White

Date Photographed: July 19, 2016

Description of Photograph(s) and number, include description of view indicating direction of camera:

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1 of 18. Front façade of 3157 Hayden Street, showing complexity and asymmetry of typical Hawaiian bungalow. Note that the first home built in Kapahulu in 1889, the Martin House's square, pyramidal roofed tower is visible just above the shed addition on the left side of the photo. Diamondhead Crater provides a formidable backdrop. Camera pointing south.



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2 of 18. Showing the location of the historic home is on front of property, at the corner of Hayden and Campbell Streets. NOTE: Plastered CMU wall replaced a chain link fence in 2016 for safety. A car once lost control and slammed into the east addition of the house. Camera pointing southeast.



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3 of 18. Contextual view looking east up Hayden Street, Campbell Avenue running north/south



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4 of 18. Contextual view looking west toward Kanaina Avenue



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5 of 18. Front façade of property, camera facing south



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6 of 18. Detail of front entryway with prominent steeply pitched shingled canopy above door. Also visible is the “snowflake” detailing in the fascia boards, the narrow double hung windows that border the front door, and the lava rock lined stairway. Camera pointing south



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7 of 18. Photo illustrates the steep pitch of the shingled roof on the forward bay, the complexity of the double hipped roof on the rear bay. Other contributing details include the the bump out window and the box framed double hung windows and landscaping. Camera facing southwest.



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8 of 18. Southeast corner of home, showing rear shed roofed addition from 1959. Plastic storage shed is detached and sits on the east side of the home, just behind the shed roofed addition also from 1959.



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9 of 18. Rear of home. Depicts the shed roofed bathroom/laundry room 1959 addition. Note the transom window screen on the addition. The double hipped roof and lattice gable intersects the shingled rear bay of the home. Double hung, boxed window sills and the continuation of the girt contribute to the bungalow's character defining features. Camera pointing northeast.



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10 of 18. Projecting, front bay of the home screened by money trees. The gable is defined by the snowflake fascia detail and protruding purlins below the lattice vent. Four over one and six over one double hung boxed sill windows have been preserved. Horizontal wooden skirting obscures the post and pier foundation.



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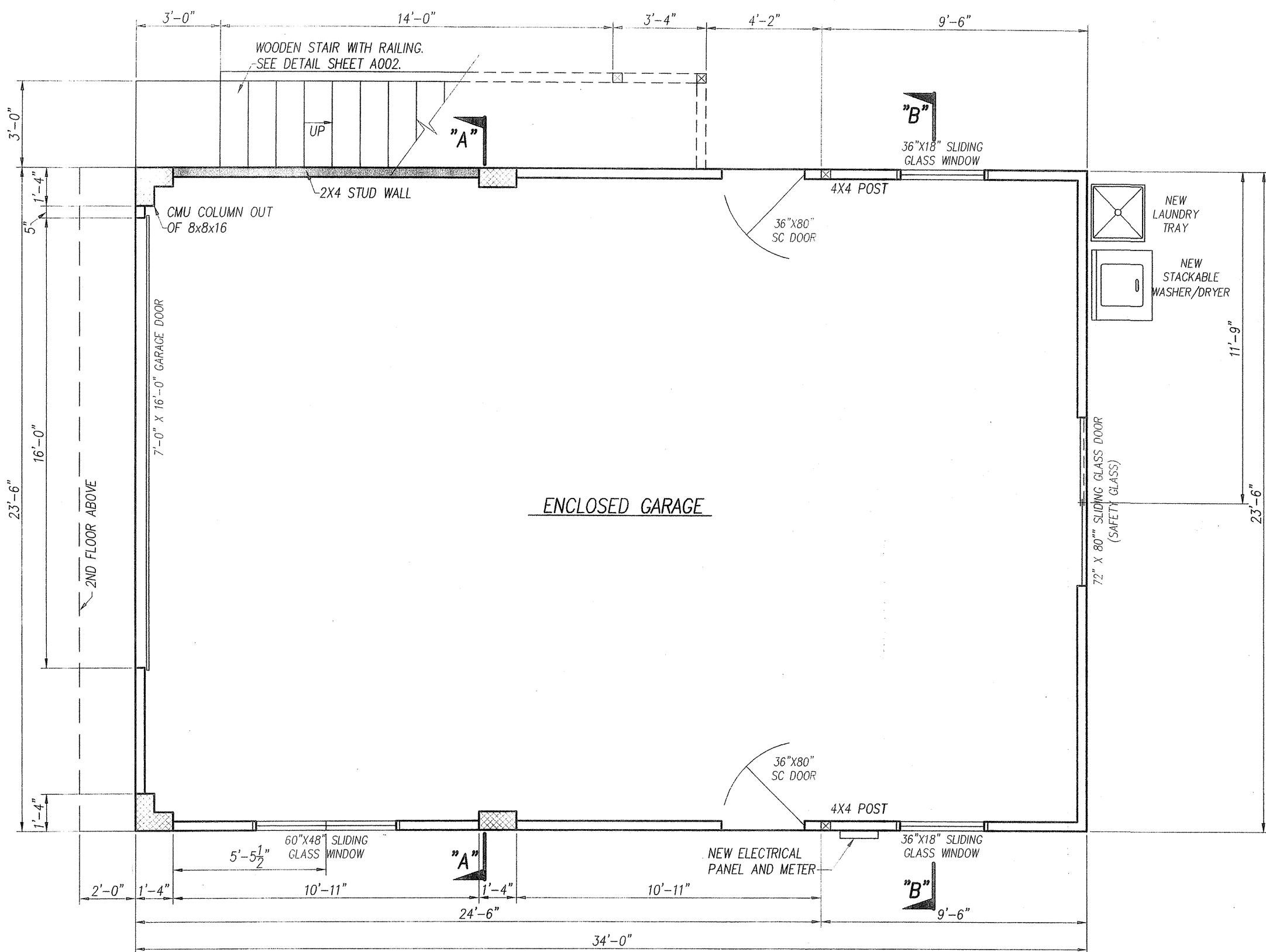
11 of 18. Close up of front bay gable showing thick fascia board, lattice screen on gable, and decorative purlins dotting a wooden frieze/mantle board. Double wide roofing boards are visible under the eave, as historic method of roof construction. Camera pointing south.

Paperwork Reduction Act Statement: This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C.460 et seq.).

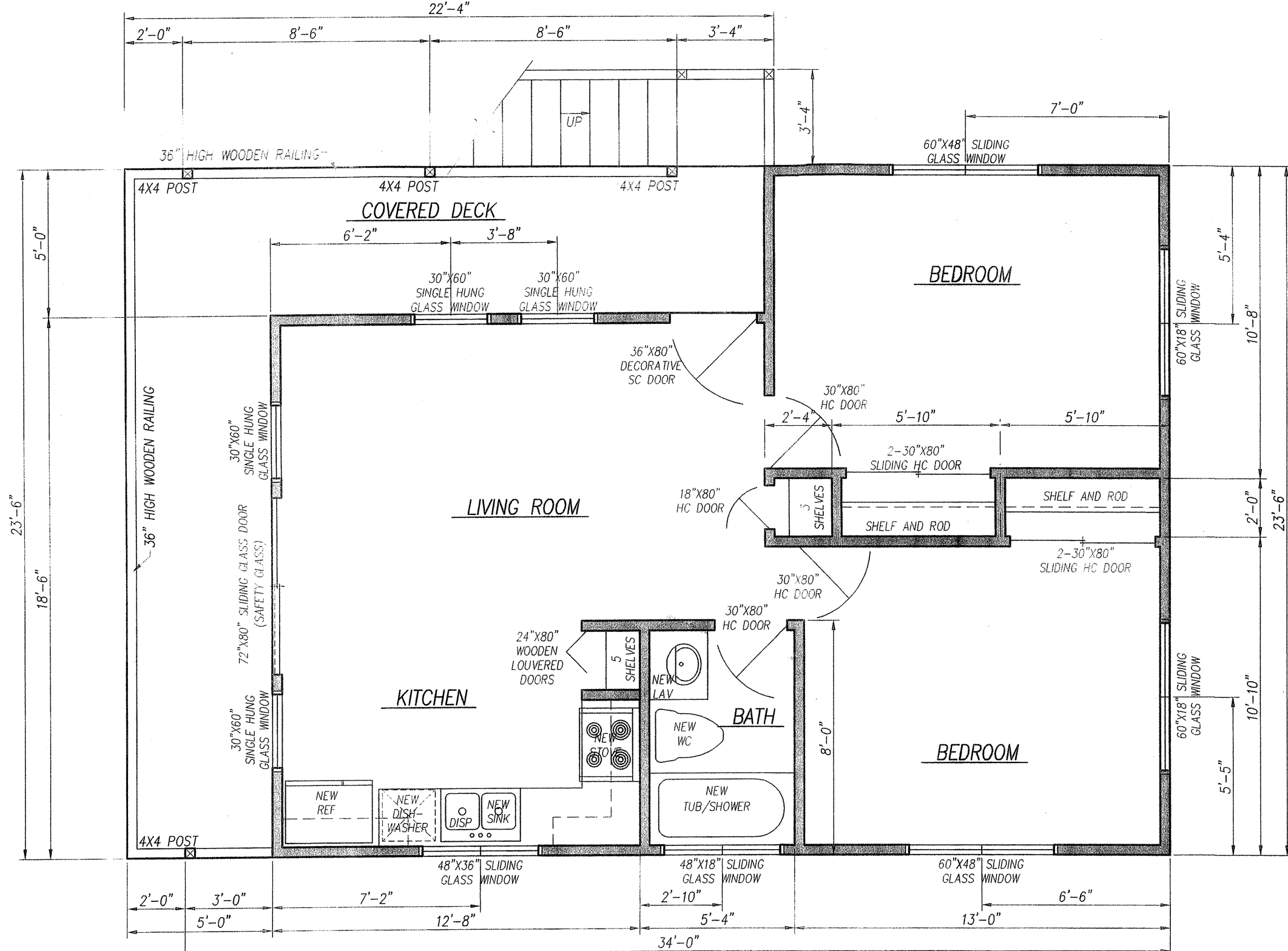
Estimated Burden Statement: Public reporting burden for this form is estimated to average 100 hours per response including time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Office of Planning and Performance Management, U.S. Dept. of the Interior, 1849 C. Street, NW, Washington, DC.

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PERMIT NUMBER: 78935
APPROVED DATE: 06/17/16
BY: Calvert Hung



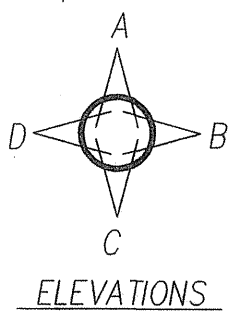
LOWER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



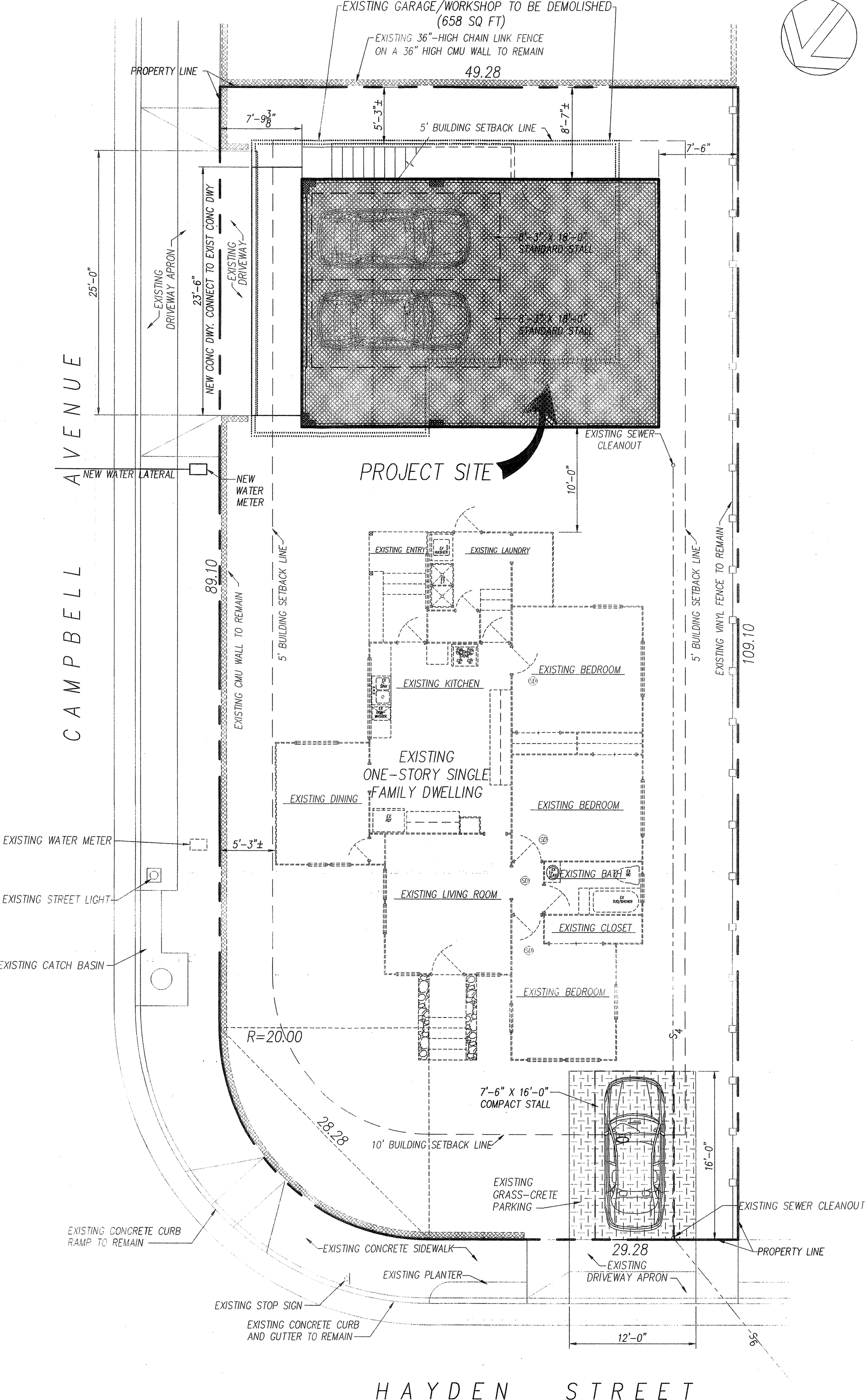
UPPER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTES:
1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE JOB SITE BEFORE CONSTRUCTION AND MAKE NECESSARY ADJUSTMENTS.
2. CONTRACTOR SHALL COORDINATE WITH HOMEOWNER REGARDING WINDOW & DOOR TYPES, FLOOR COVERINGS, LIGHTING FIXTURES, CABLE JACKS, TELEPHONE JACKS, AND OUTLETS AND THEIR LOCATIONS.
3. NO AUTOMATIC FIRE SPRINKLER OR IRRIGATION SYSTEM ON EXISTING WATER METER.
4. CONTRACTOR TO PROVIDE TERMITE PROTECTION PER IBC SECTION 236.11.1 AS AMENDED.
5. SMOKE DETECTORS SHALL BE UL APPROVED.

2006 IRC SECTION R313/SMOKE ALARMS
THE ALARM DEVICES SHALL BE INTERCONNECTED IN A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE WITH ALL INTERVENING DOORS CLOSED.



ELEVATIONS



PLOT PLAN
SCALE: 1" = 8'-0"

NOTES:
1. NO FIRE SPRINKLER SYSTEM/IRRIGATION SYSTEM ON THE METER.
2. ALL NEW FIXTURES ARE LOW FLOW.
3. SMOKE DETECTORS SHALL BE UL APPROVED.
4. REQUIRED YARDS TO BE/REMAIN LANDSCAPED.
5. ALL PLUMBING FIXTURES SHOWN IN THE EXISTING DWELLING ARE EXISTING LOW FLOW FIXTURES.

ZONING CALCULATION
(BUILDING AREA TABULATION)

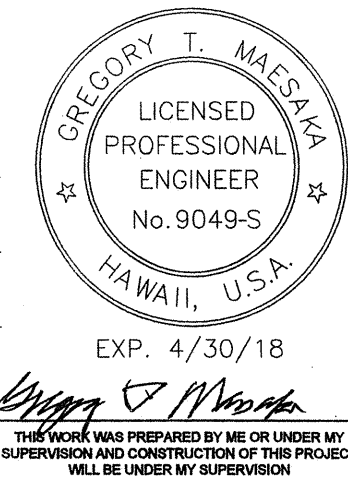
ZONING	R-3.5
LOT AREA	5291.00 SF
MAXIMUM BUILDING AREA	2845.50 SF
EXISTING BUILDING AREA	1765.00 SF
DEMOLISHED BUILDING AREA	574.00 SF
PROPOSED BUILDING AREA	799.00 SF
TOTAL BUILDING AREA	1990.00 SF
EXISTING FLOOR AREA	1765.00 SF
DEMOLISHED FLOOR AREA	574.00 SF
PROPOSED FLOOR AREA	1598.00 SF
TOTAL FLOOR AREA	2789.00 SF
PARKING STALLS REQUIRED - 3	
PARKING STALLS PROVIDED - 3	

REVISED ORDINANCES OF HONOLULU
CHAPTER 32
BUILDING ENERGY CONSERVATION STANDARDS
CITY AND COUNTY OF HONOLULU
REVISED ORDINANCE CHAPTER 32
HONOLULU COUNTY CODE 1990, AS AMENDED

TO THE BEST OF MY KNOWLEDGE, THIS PROJECT'S DESIGN SUBSTANTIALLY CONFORMS TO THE BUILDING ENERGY CONSERVATION CODE FOR:

67M BUILDING COMPONENT SYSTEMS
ELECTRICAL COMPONENT SYSTEMS
MECHANICAL COMPONENT SYSTEMS

Gregory T. Maesaka
Professional Engineer
No. 9049-S
HAWAII, U.S.A.



INDEX TO DRAWINGS

SHEET	DESCRIPTION
A001	FLOOR PLAN, PLOT PLAN, INTERIOR ELEVATIONS, & INDEX TO DRAWINGS
A002	FOUNDATION PLAN, FRAMING PLAN, AND TYPICAL SECTIONS
A003	EXTERIOR ELEVATIONS & DETAILED SECTIONS
A004	FRAMING DETAILS AND NOTES

PROPOSED 2-STORY ADU DWELLING
FOR MR. & MRS. DEREK GEORGE

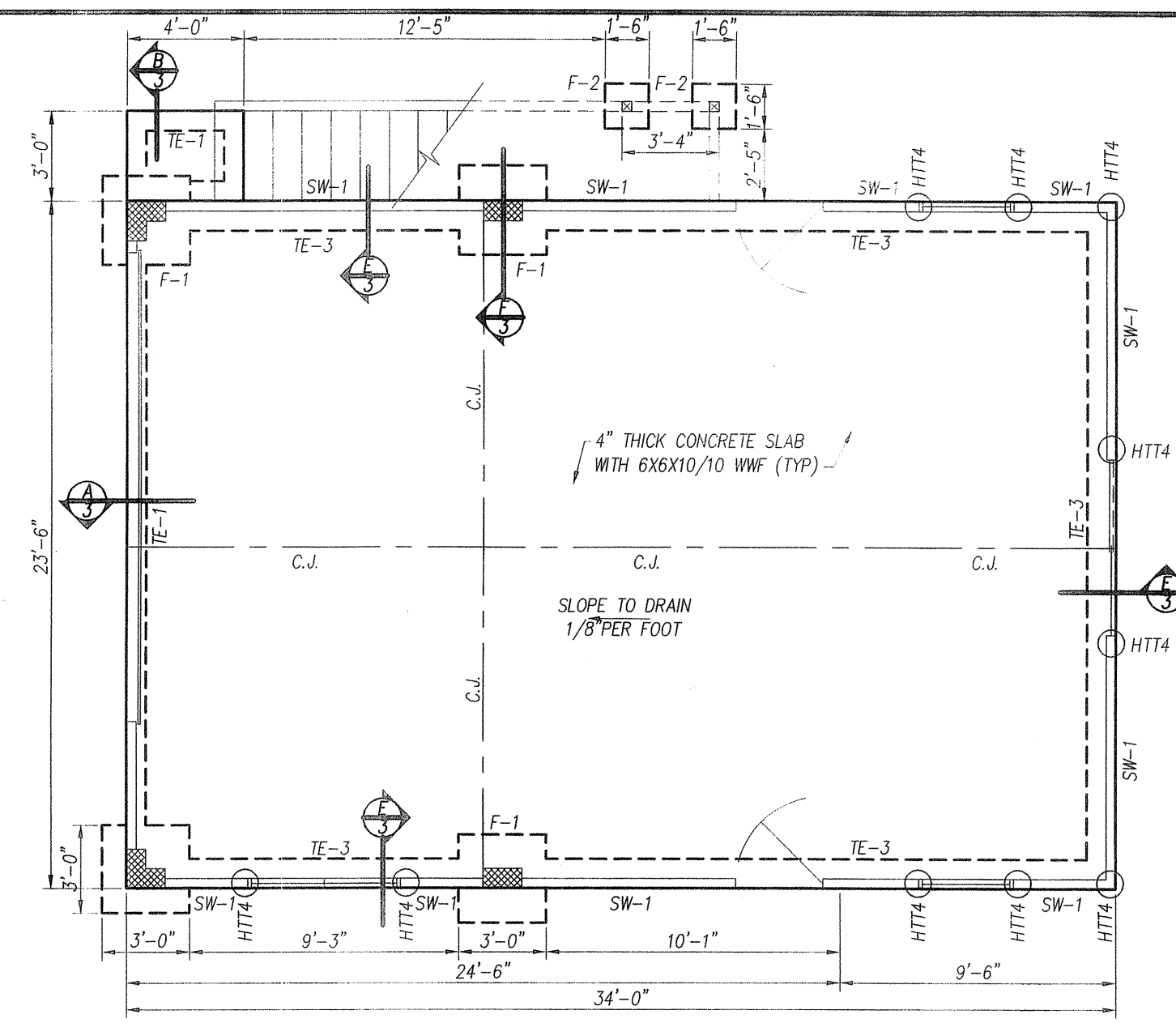
3157 HAYDEN ST	HONOLULU, HAWAII
SCALE: AS NOTED	TWK: 9-1-019-085
FLOOR PLAN, PLOT PLAN, INTERIOR ELEVATIONS, & INDEX TO DRAWINGS	SHEET 1 OF 4
	A001
	REV: 5-05-16
	REV: 3-6-16

APPROVED

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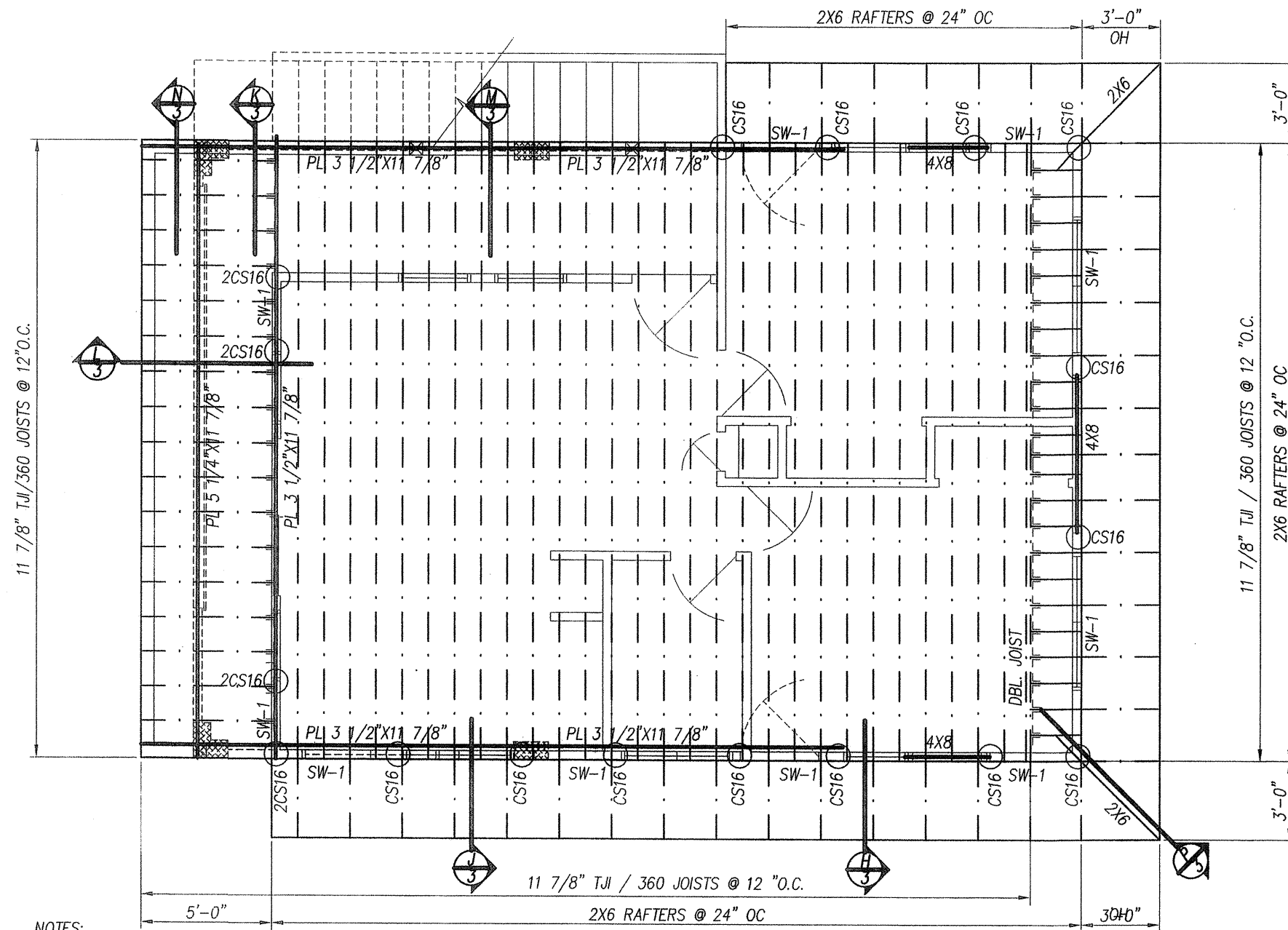
PERMIT NUMBER:
APPROVED DATE: 06/17/16
BY: Calvert Hung

"Be a good neighbor build with aloha"



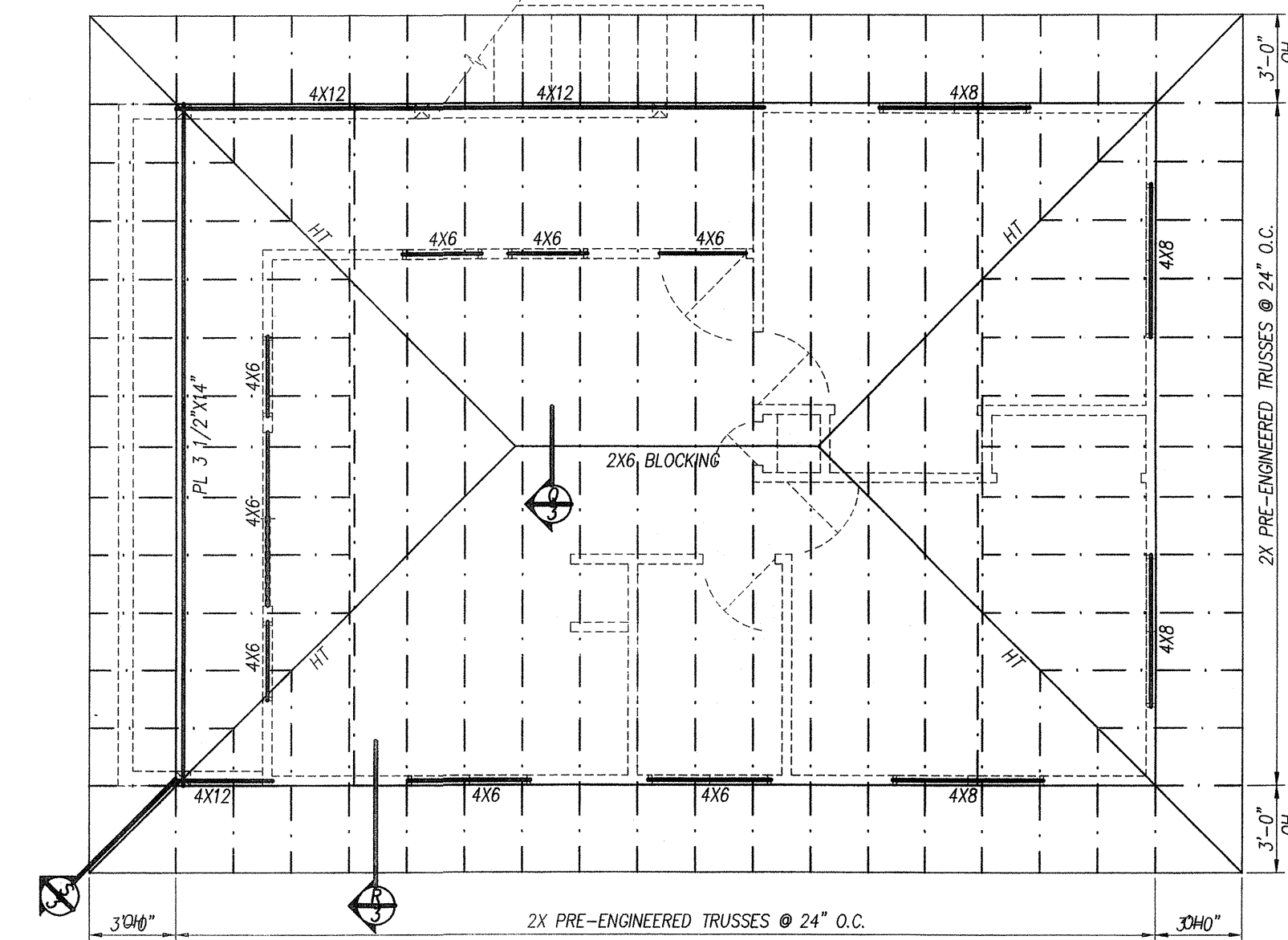
FOUNDATION PLAN

SCALE: 3/16" = 1'-0"



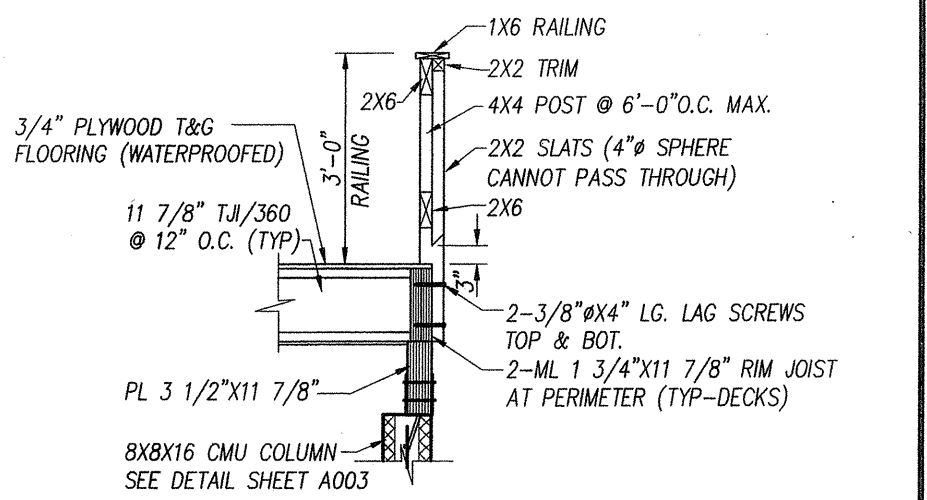
**UPPER LEVEL FLOOR FRAMING/
LOWER LEVEL ROOF FRAMING PLAN**

SCALE: 3/16" = 1'-0"



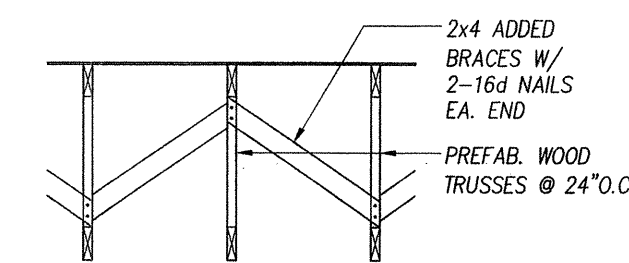
UPPER LEVEL ROOF FRAMING

SCALE: 3/16" = 1'-0"



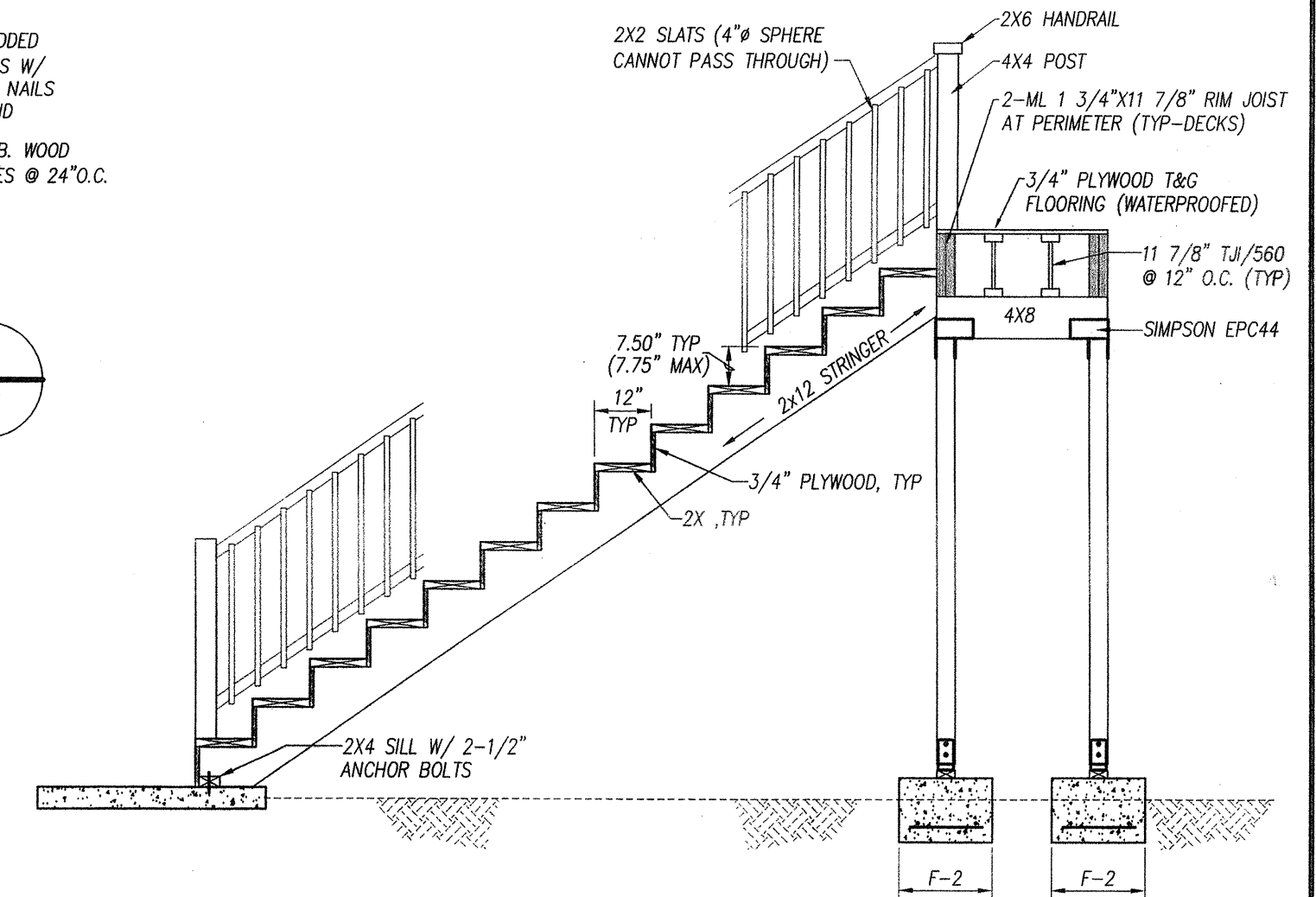
TYPICAL DECK RAILING DETAIL

SCALE: 3/8" = 1'-0"



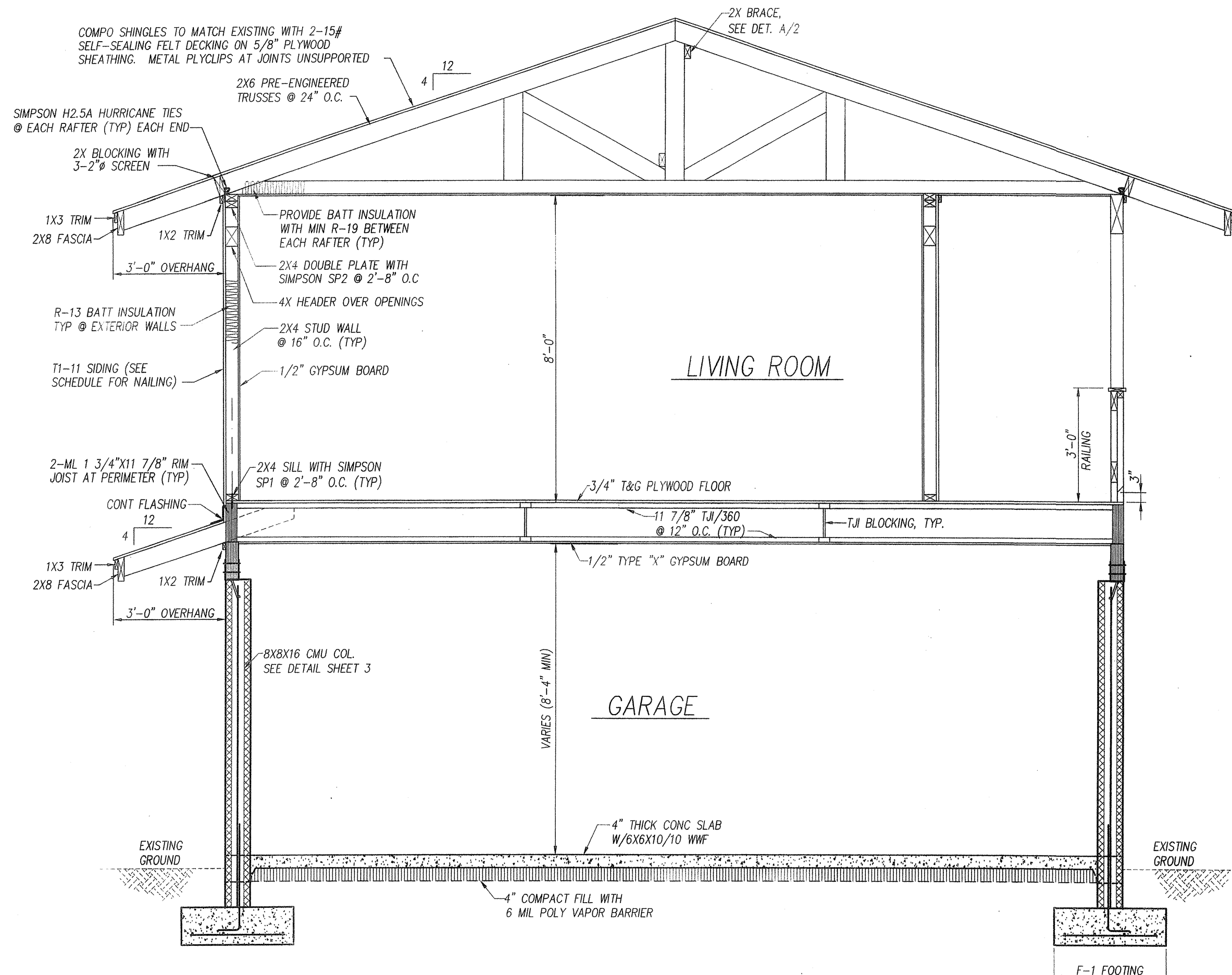
DETAIL A

SCALE: 3/8" = 1'-0"



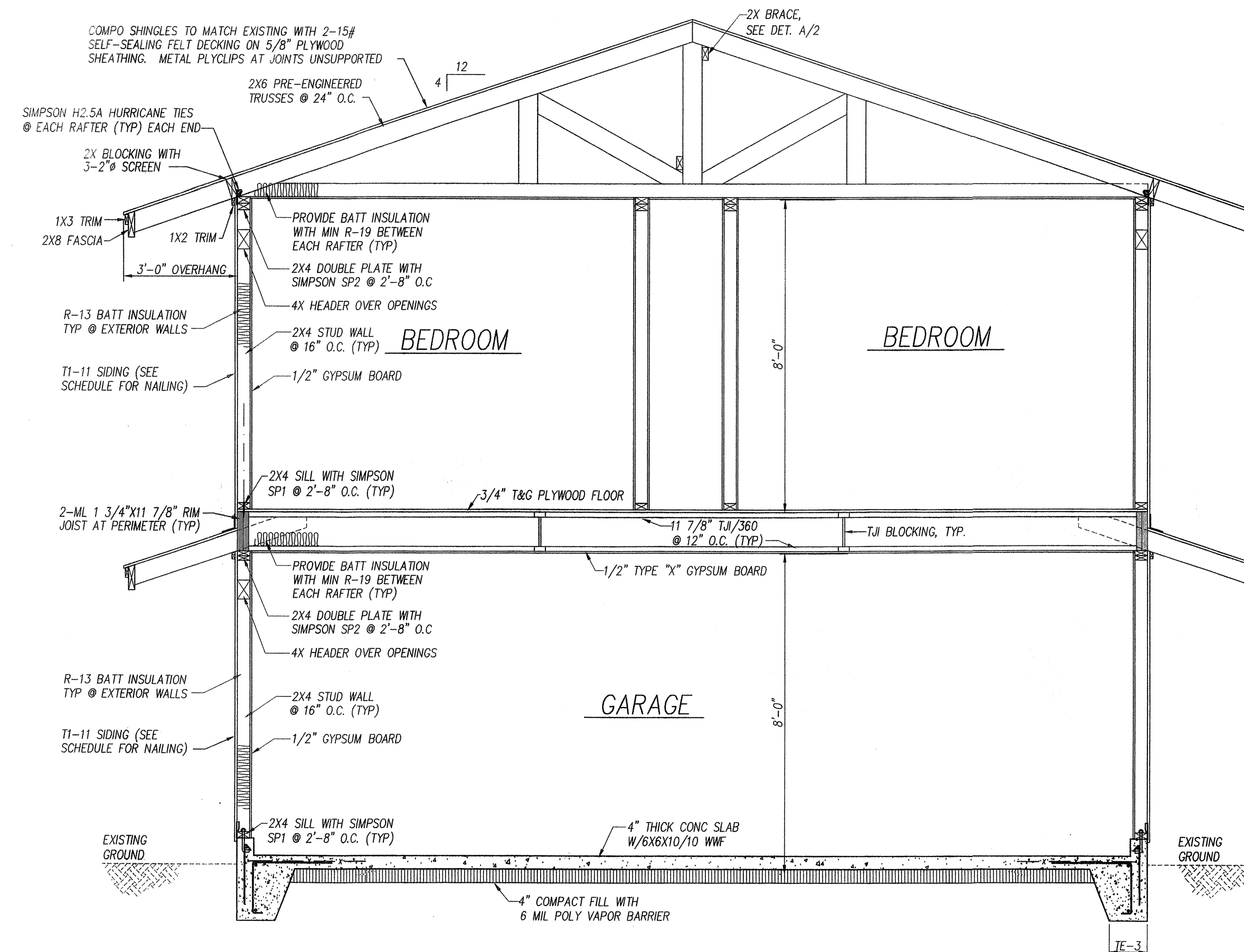
TYPICAL STAIR DETAIL

SCALE: 3/8" = 1'-0"



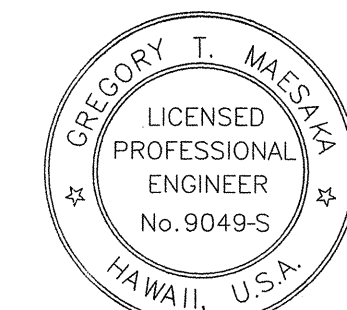
TYPICAL SECTION "A-A"

SCALE: 3/8" = 1'-0"



TYPICAL SECTION "B-B"

SCALE: 3/8" = 1'-0"



EXP. 4/30/18

DESIGNED BY: Gregory T. Matsuka
SUPERVISOR AND CONSTRUCTION OF THIS PROJECT
WILL BE UNDER MY SUPERVISION

**PROPOSED 2-STORY ADU DWELLING
FOR MR & MRS DEREK GEORGE**

3157 HAYDEN ST HONOLULU, HAWAII

SCALE: AS NOTED TWK: 9-1-019-085

FOUNDATION PLAN, FRAMING PLAN,
AND TYPICAL SECTIONS

SHEET

A002

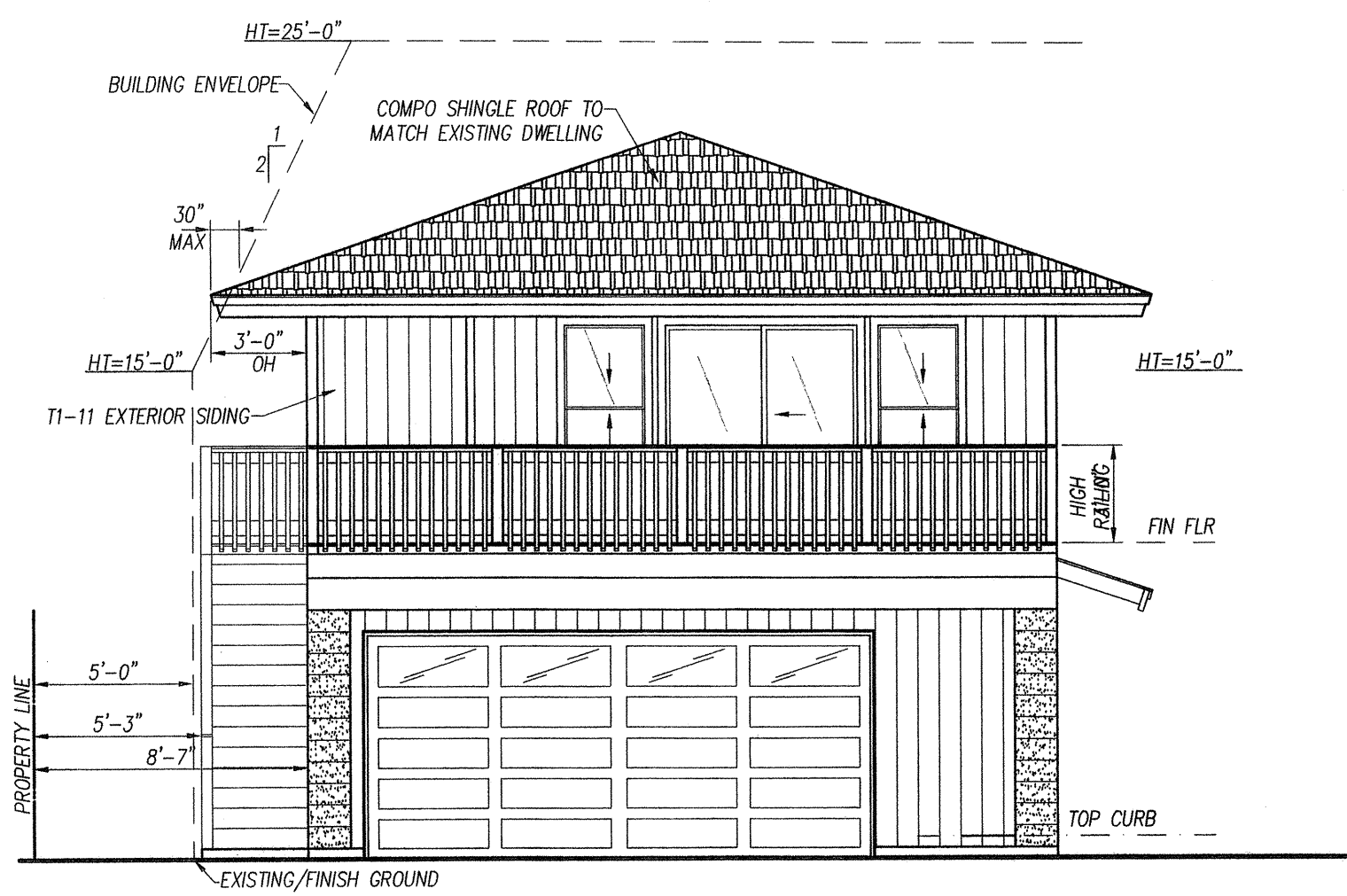
REV. 3-15-16
REV. 3-8-16

APPROVED

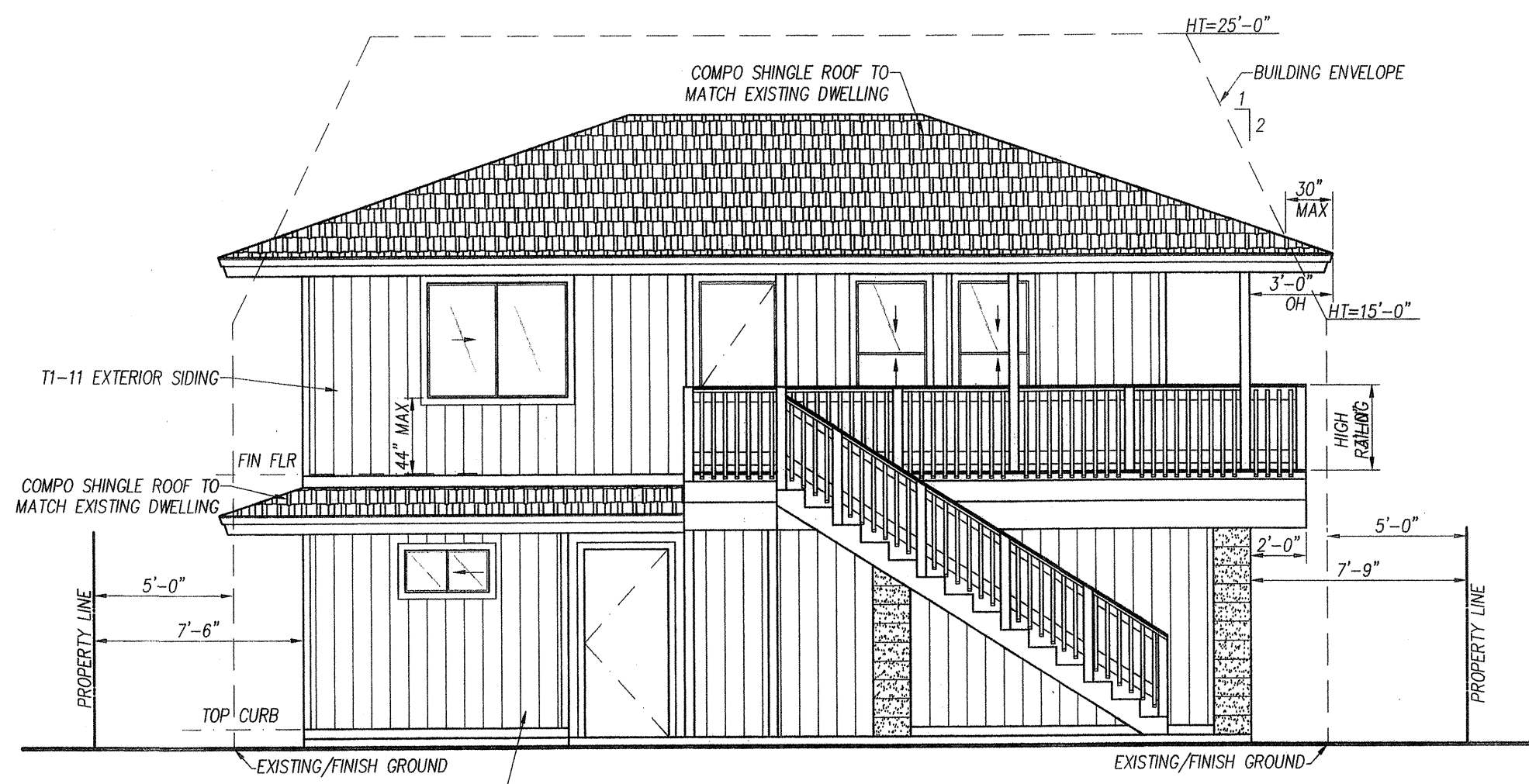
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A2015-12-1092
PERMIT NUMBER:
APPROVED DATE: 08/17/16
BY: Calvert Hung

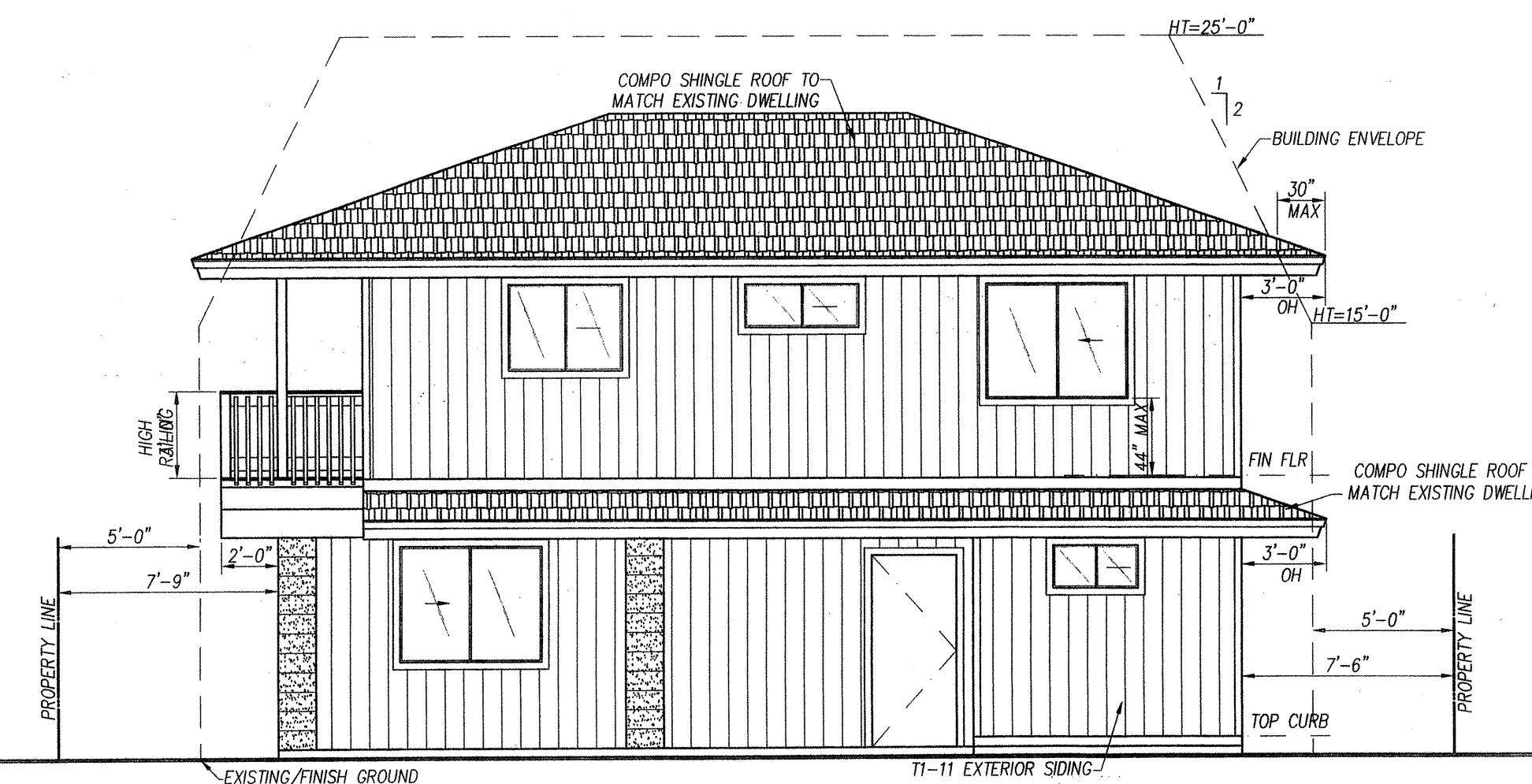
"Be a good neighbor build with aloha"



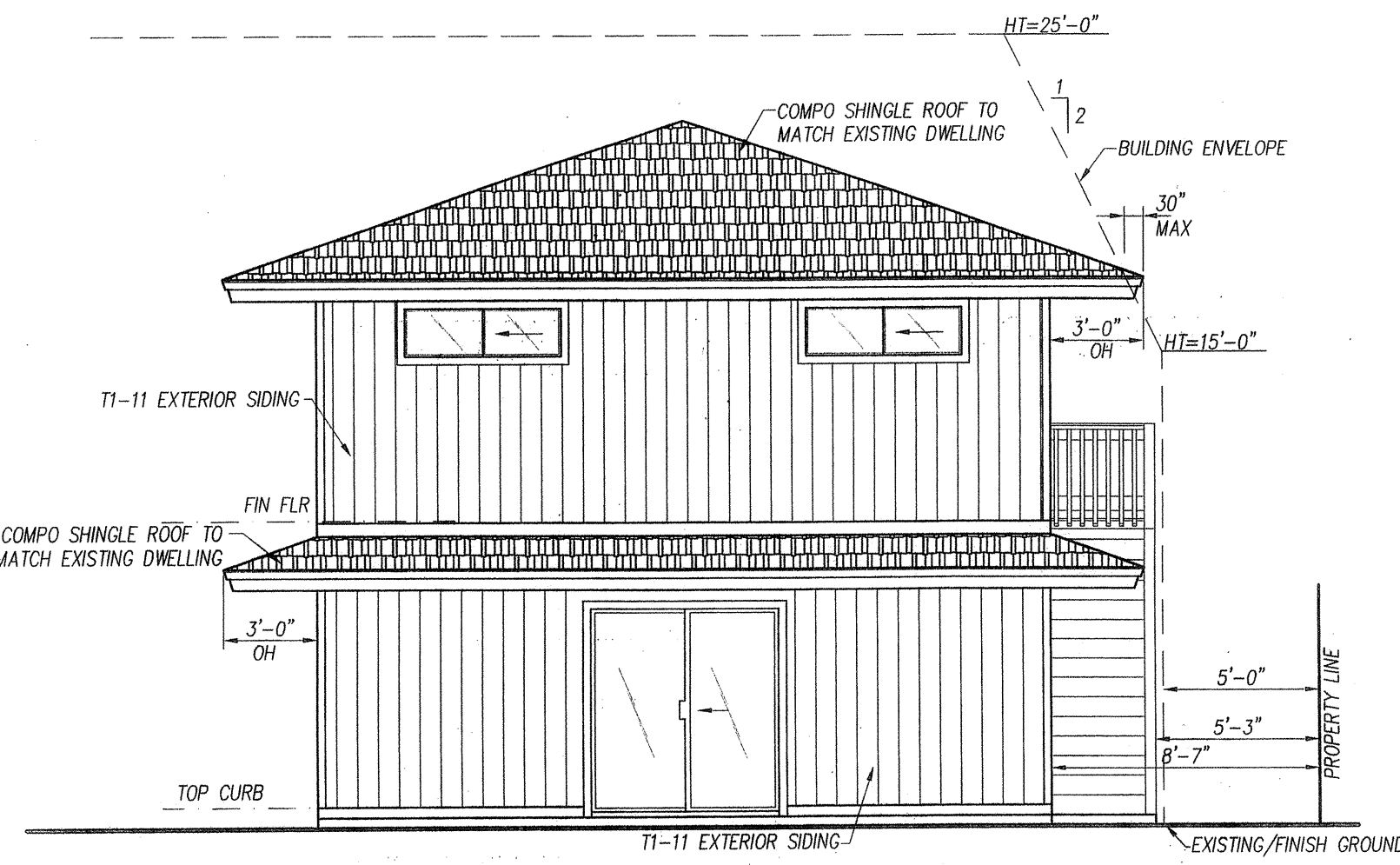
ELEVATION B



ELEVATION D



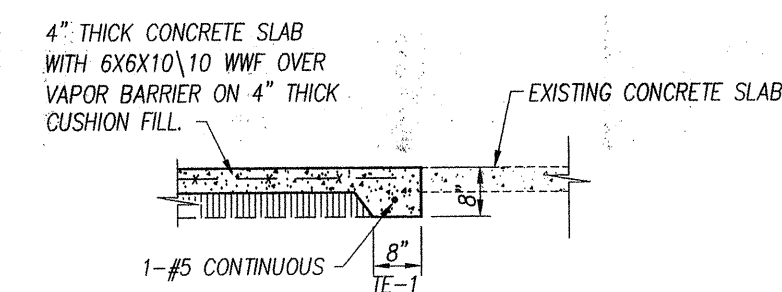
ELEVATION A



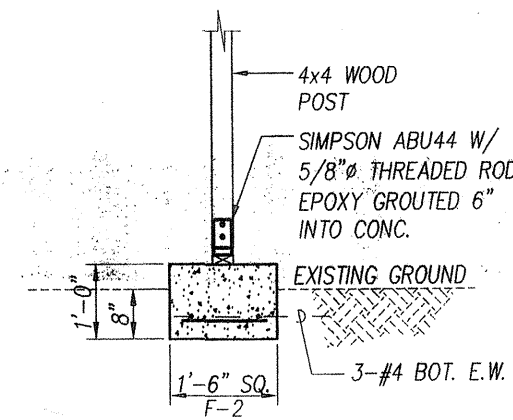
ELEVATION C

EXTERIOR ELEVATIONS

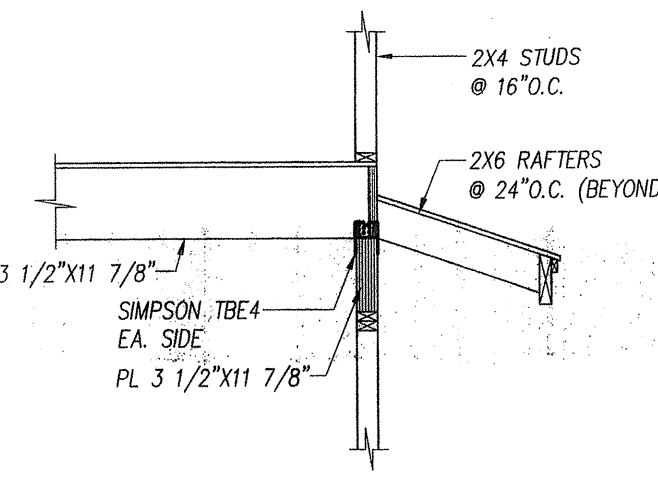
SCALE: 3/16" = 1'-0"



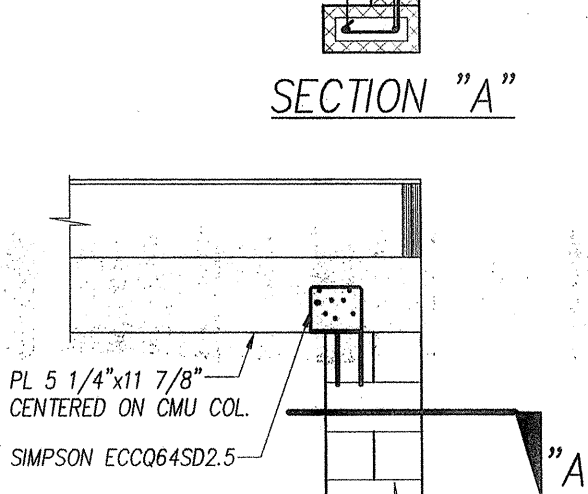
SECTION A
SC: 3/8" = 1'-0"



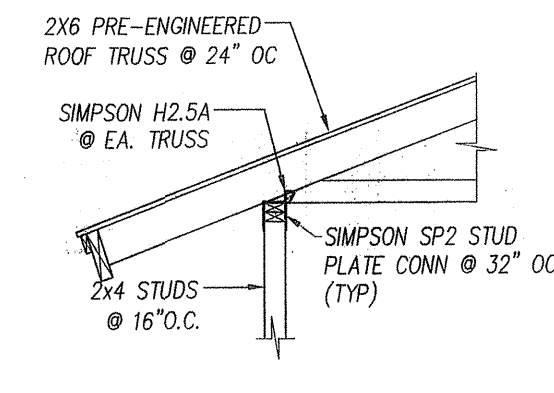
SECTION G
SC: 3/8" = 1'-0"



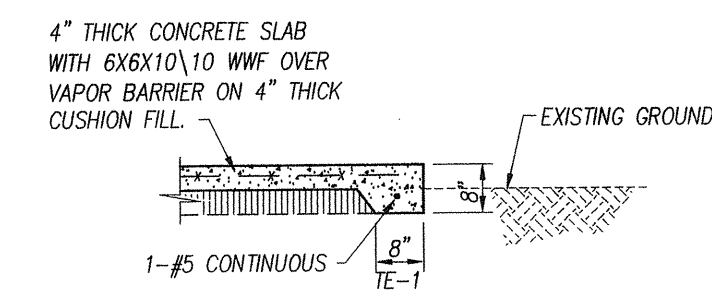
SECTION K
SC: 3/8" = 1'-0"



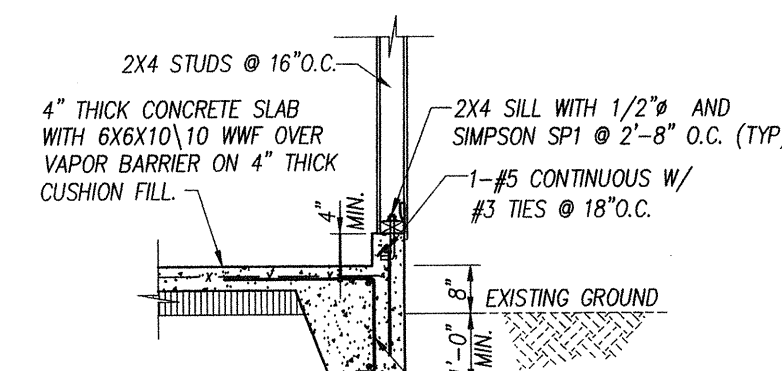
SECTION N
SC: 3/8" = 1'-0"



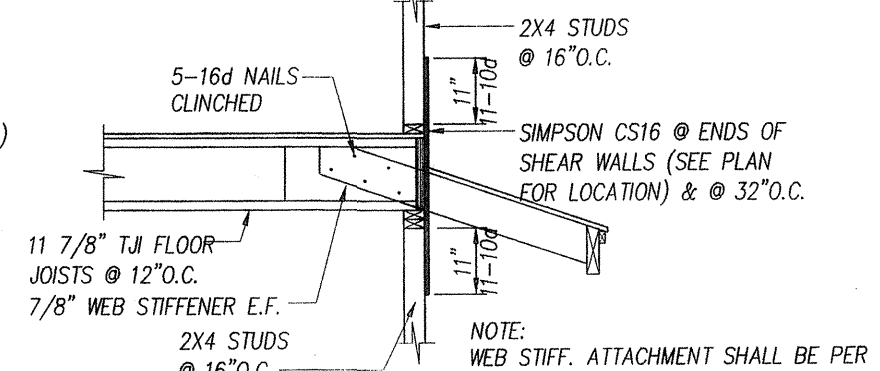
SECTION R
SC: 3/8" = 1'-0"



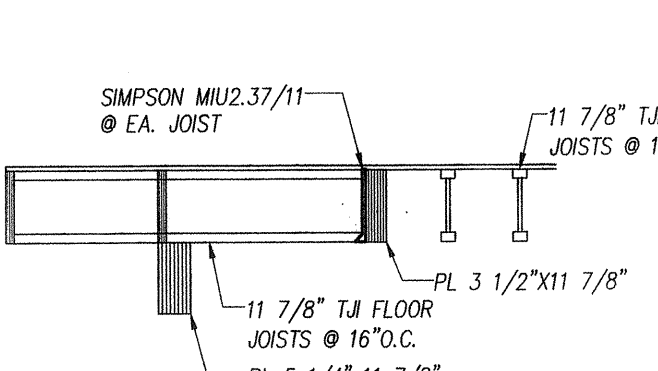
SECTION B
SC: 3/8" = 1'-0"



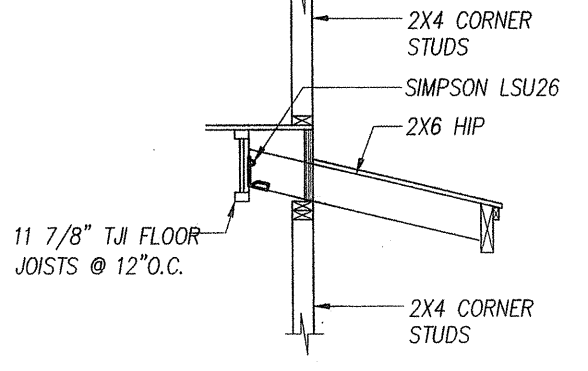
SECTION E
SC: 3/8" = 1'-0"



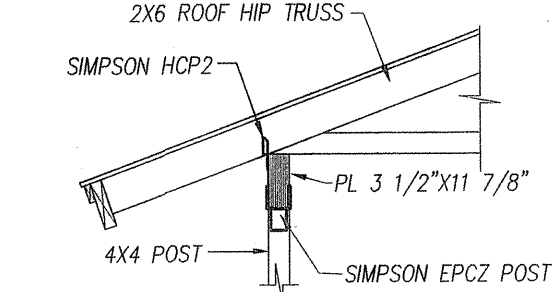
SECTION H
SC: 3/4" = 1'-0"



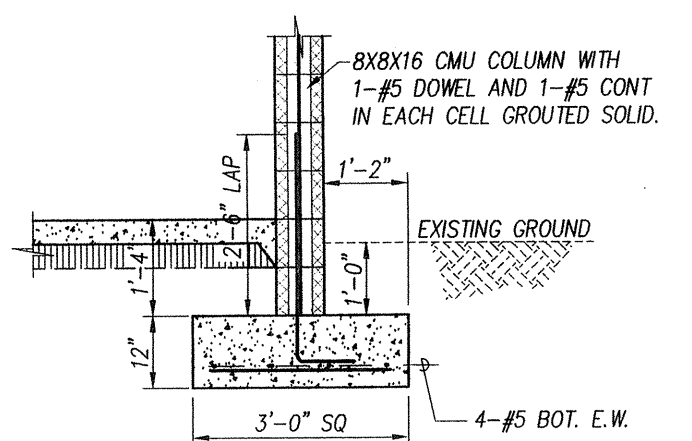
SECTION L
SC: 3/8" = 1'-0"



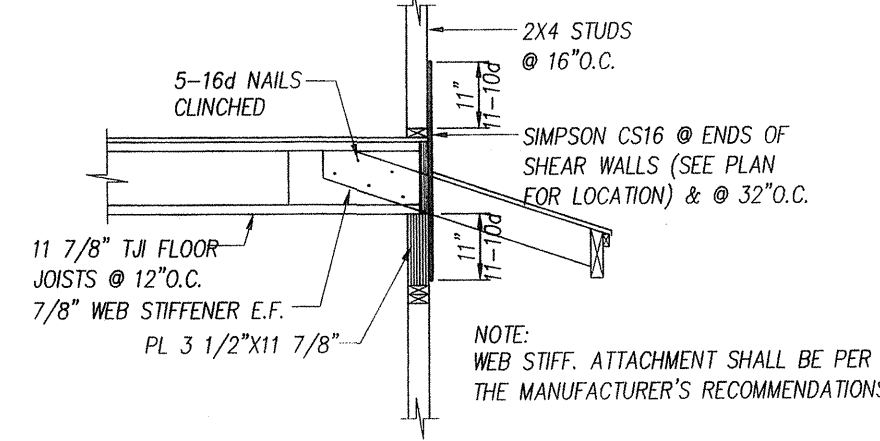
SECTION P
SC: 3/8" = 1'-0"



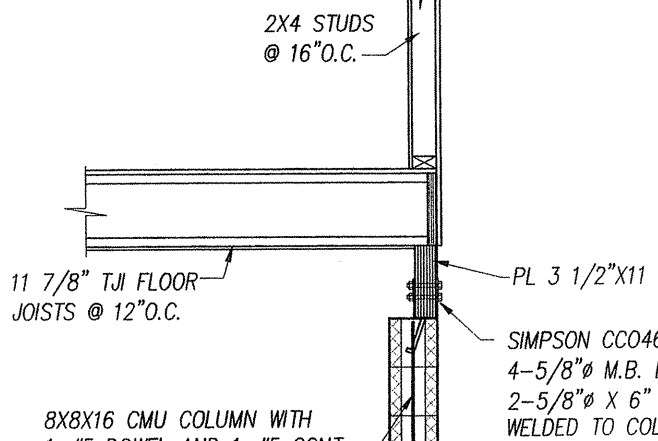
SECTION S
SC: 3/4" = 1'-0"



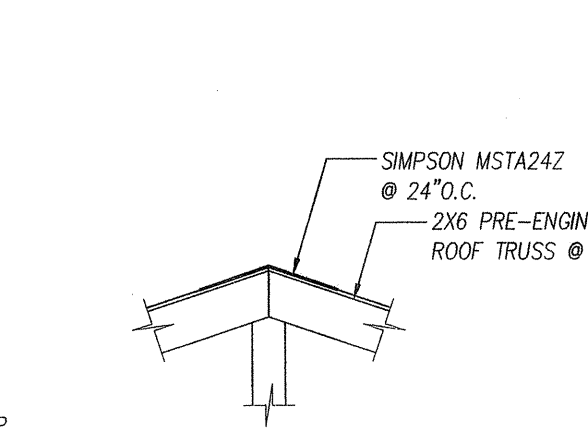
SECTION F
SC: 3/8" = 1'-0"



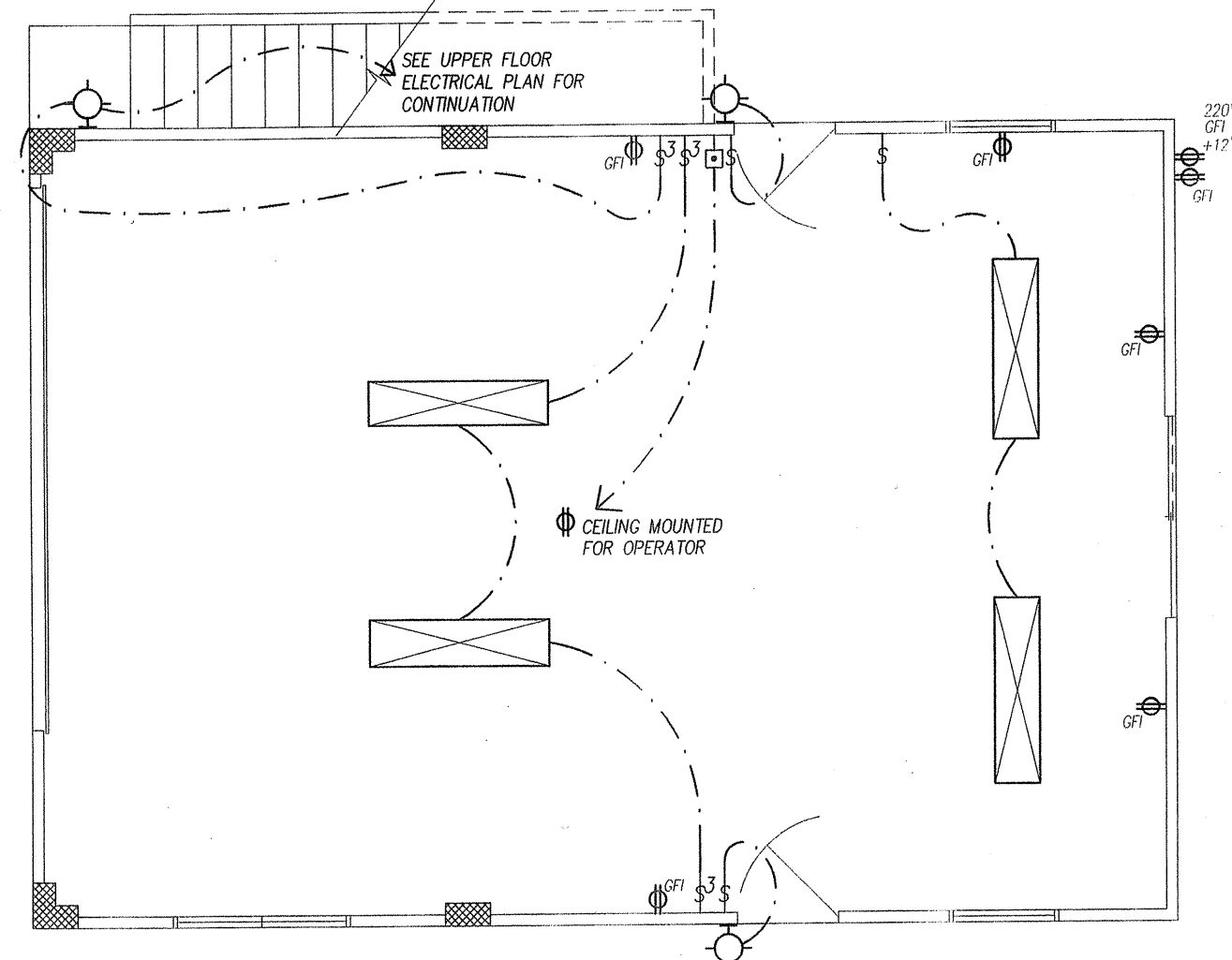
SECTION J
SC: 3/4" = 1'-0"



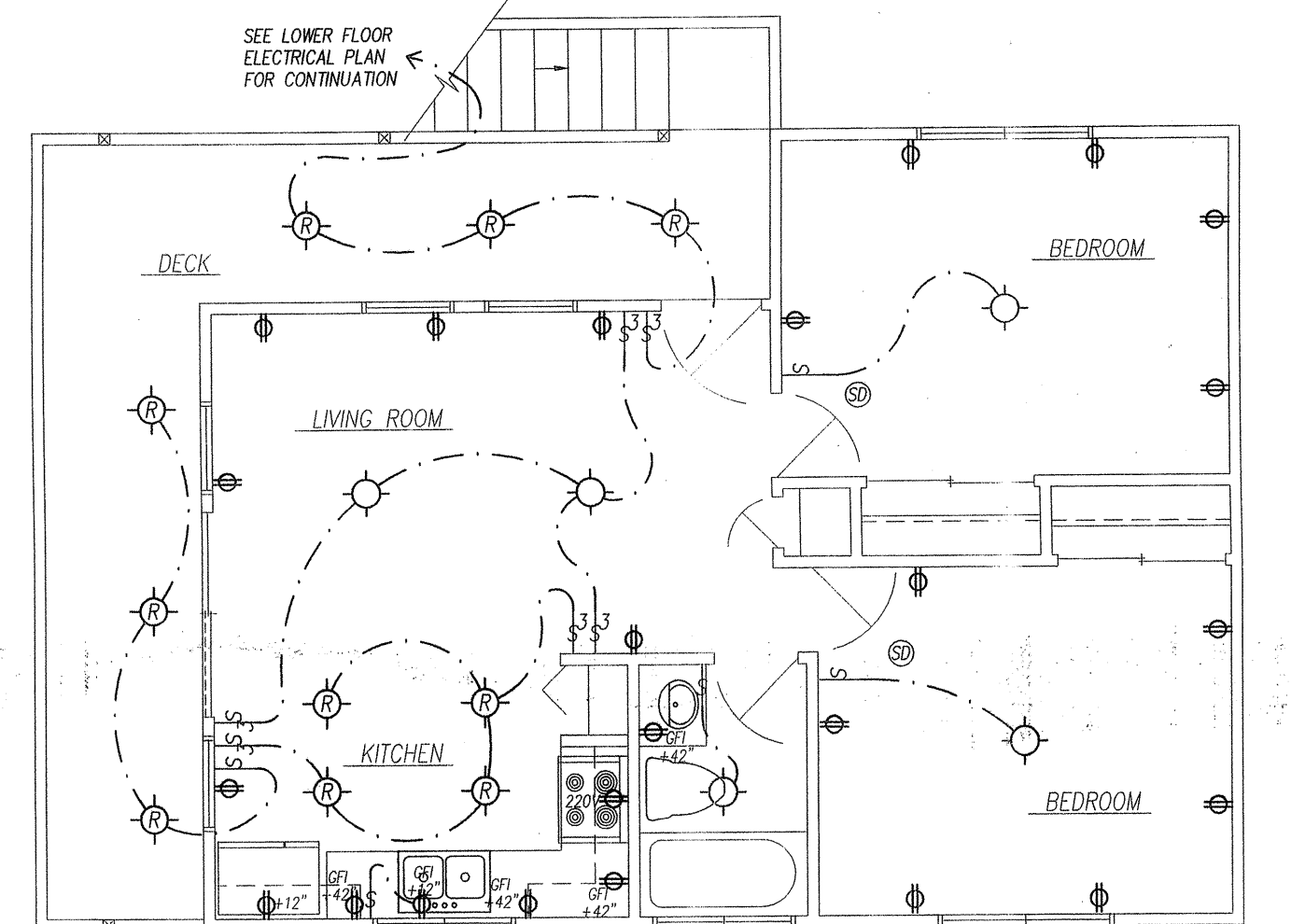
SECTION M
SC: 3/4" = 1'-0"



SECTION Q
SC: 3/4" = 1'-0"



LOWER LEVEL ELECTRICAL PLAN



UPPER LEVEL ELECTRICAL PLAN

- LEGEND:
- UL APPROVED SMOKE DETECTOR
 - CEILING MOUNTED RECESSED FIXTURE
 - CEILING MOUNTED FIXTURE
 - WALL MOUNTED FIXTURE
 - FLUORESCENT FIXTURE

UPPER LEVEL ELECTRICAL PLAN

SCALE: 3/16" = 1'-0"



**PROPOSED 2-STORY ADU DWELLING
FOR MR & MRS DEREK GEORGE**

3157 HAYDEN ST HONOLULU, HAWAII
SCALE: AS NOTED TWR: 9-1-019-085
SHEET 3
EXTERIOR ELEVATIONS & DETAILED SECTIONS
A003
REV: 5-05-16
REV: 3-8-16

APPROVED

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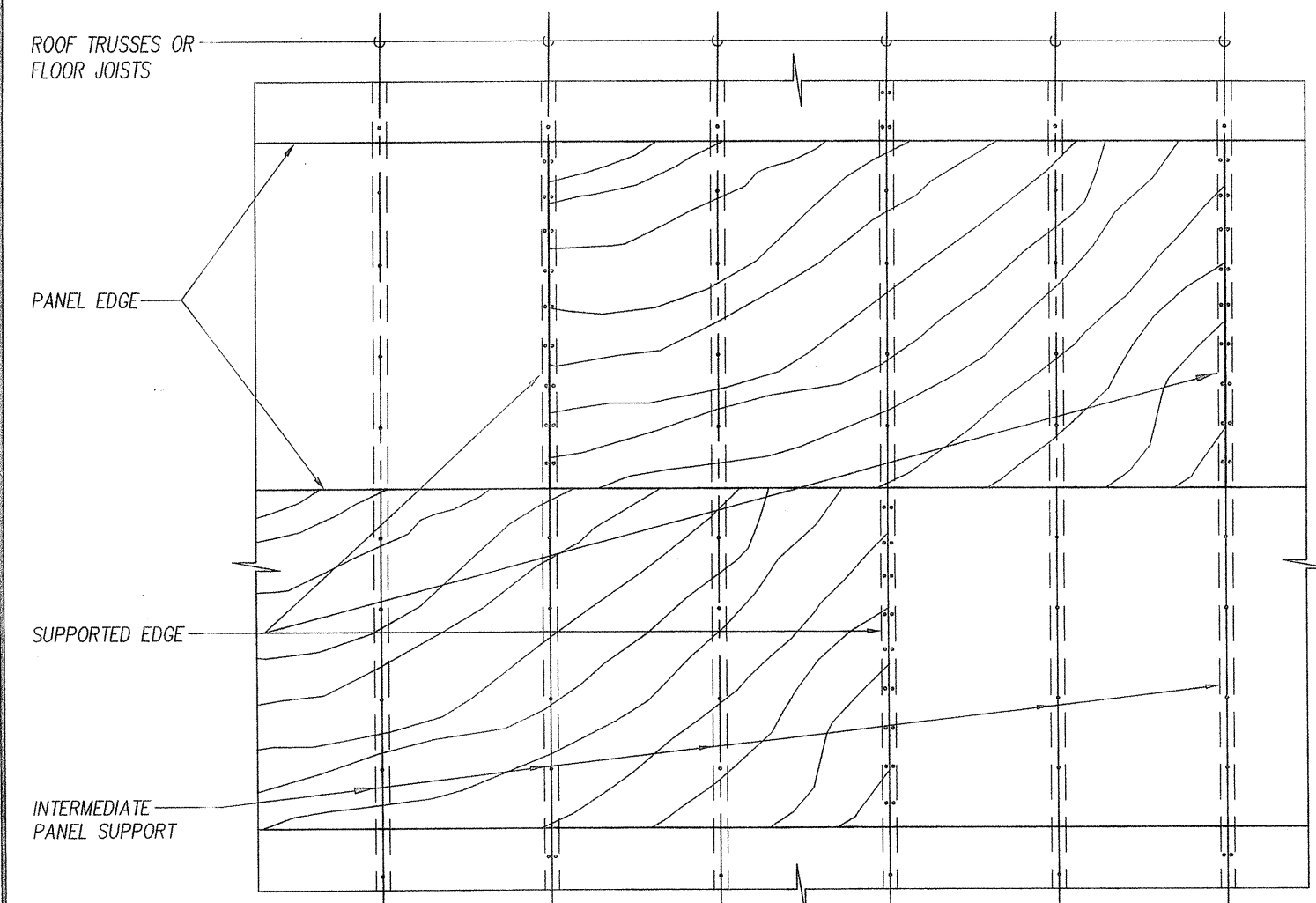
A2015-12-1082

PERMIT NUMBER:

APPROVED DATE: 06/17/16

BY: Calvert Hung

Be a good neighbor build with aloha



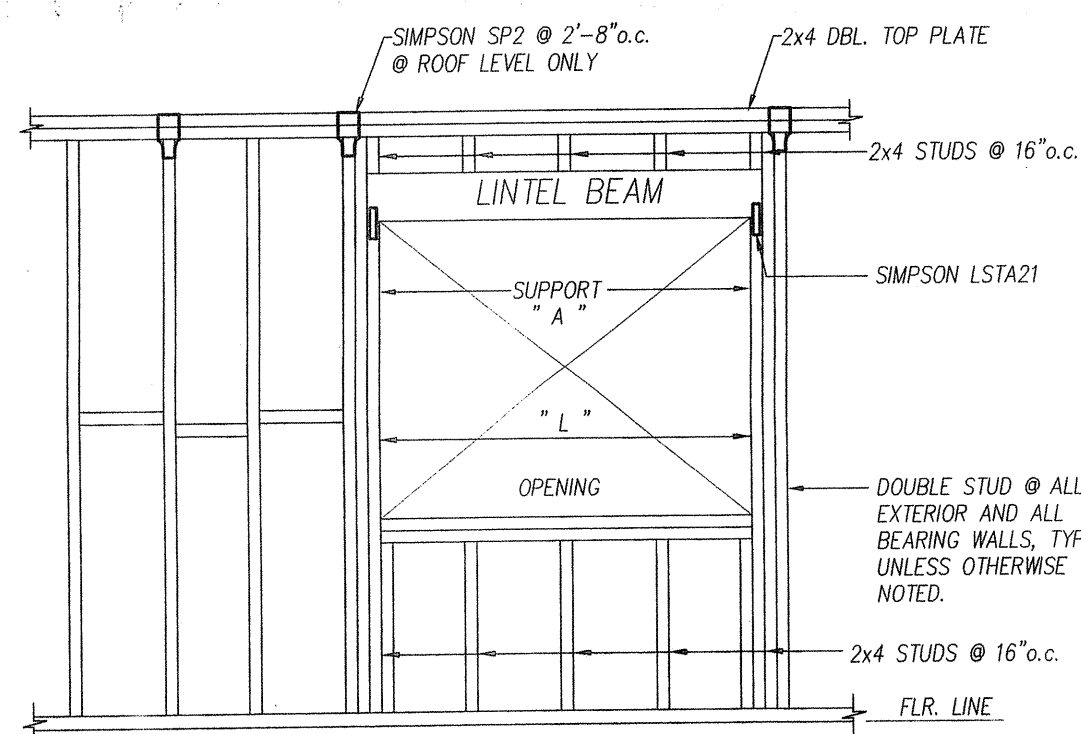
NOTES:

1. STAGGER LOCATION OF PANEL SUPPORTED EDGES AS PERMITTED.
2. ALL PLYWOOD FLOOR PANELS SHALL BE GLUED TO FLOOR JOISTS.
3. ROOF NAILING (MIN.):
10d @ 6"oc @ PANEL EDGE SUPPORT
10d @ 12"oc @ PANEL INTERM. SUPPORT

FLOOR NAILING (MIN.):
10d @ 6"oc @ PANEL EDGE SUPPORT
10d @ 10"oc @ PANEL INTERM. SUPPORT

TYP. HORIZONTAL DIAPHRAGM PANEL LAYOUT

SCALE: 1/2"=1'-0"

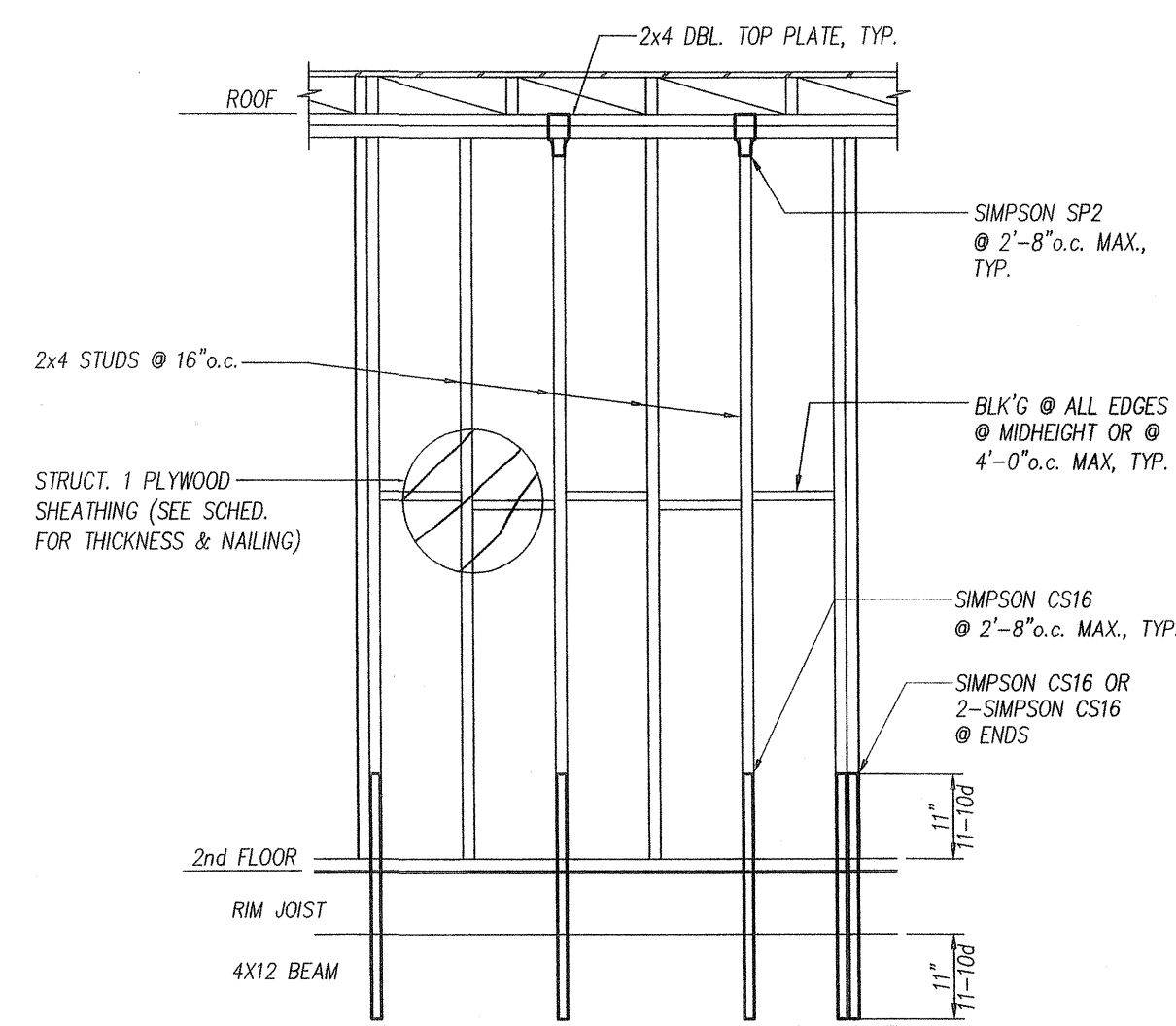


SUPPORT SCHEDULE	
1	SEE PLANS FOR LINTEL SIZES.
2	ALL STUD WALLS SHALL BE VERTICALLY PLUMB.
3	SIZES INDICATED IN THE SUPPORT SCHEDULE ARE TYPICAL UNLESS OTHERWISE SHOWN.

- NOTES:
1. SEE PLANS FOR LINTEL SIZES.
 2. ALL STUD WALLS SHALL BE VERTICALLY PLUMB.
 3. SIZES INDICATED IN THE SUPPORT SCHEDULE ARE TYPICAL UNLESS OTHERWISE SHOWN.

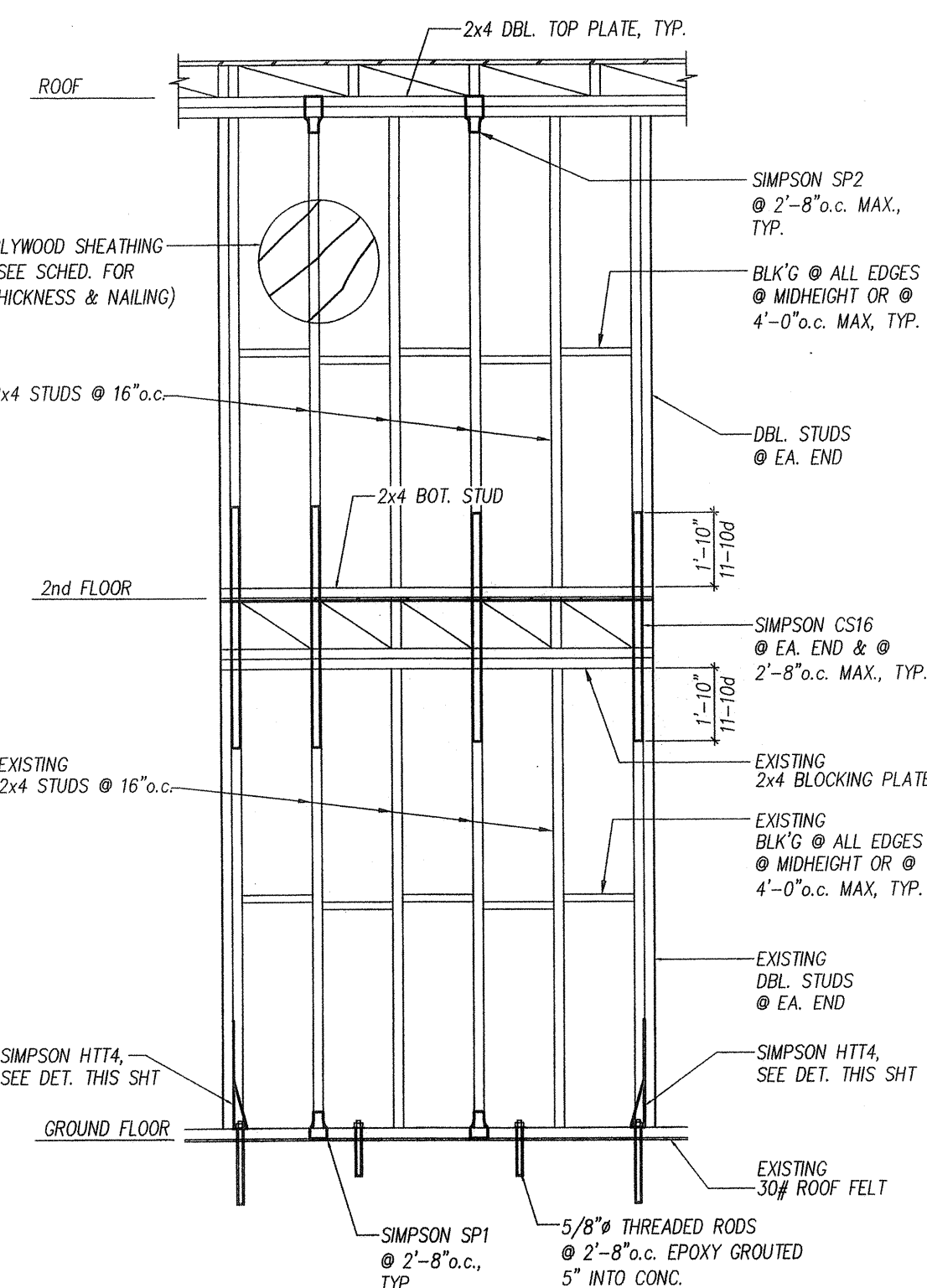
TYP. BEARING WALL DETAIL

SCALE: 1/2"=1'-0"



COND. AT BEAM

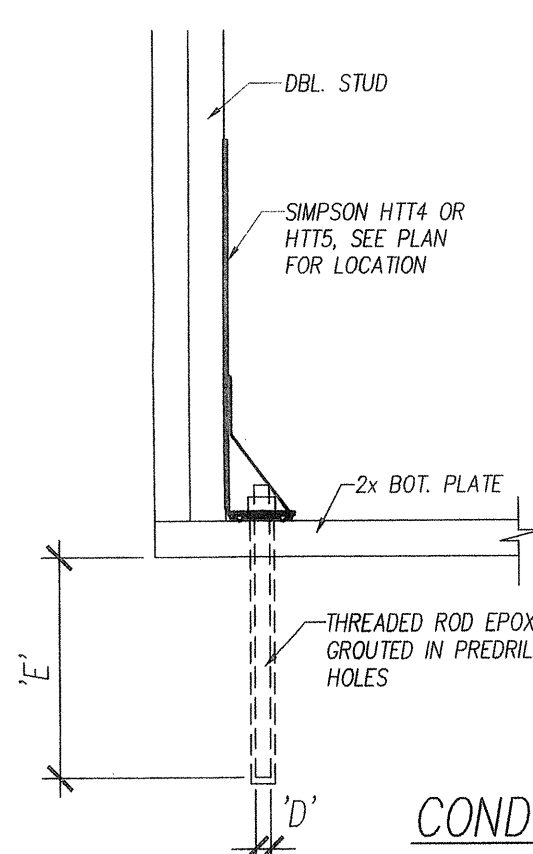
SHEAR WALL NAILING SCHEDULE				
WALL MARK	SHEATHING TYPE	NAIL TYPE	FIELD NAILING	FIELD NAILING
SW-1	5/8" THK. T&G PLYWOOD SIDING ON ONE SIDE	8d NAILS	@ 6"oc	@ 12"oc
SW-2	5/8" THK. T&G PLYWOOD SIDING ON ONE SIDE	8d NAILS	@ 3"oc	@ 12"oc



TWO-STORY COND.

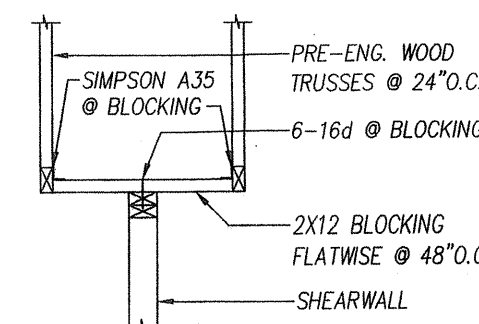
TYP. EXTERIOR SHEAR WALLS

SCALE: 1/2"=1'-0"

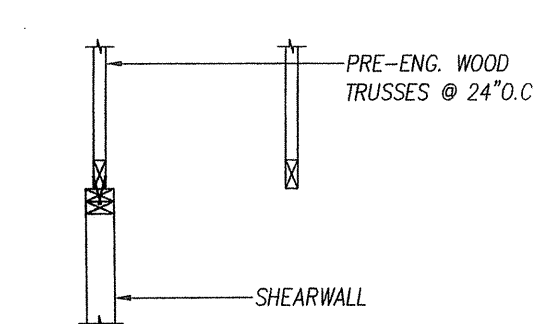


COND. W/ DBL. STUDS

SIMPSON HOLD DOWN	BOLT DIA. "D"	DIST. FROM CENTER OF BOLT TO EDGE OF CONCRETE	MIN. EMBEDMENT IN CONC. "E"
HTT4	5/8"	1 3/4" 2 3/4" > 5"	9" 6" 4"
HTT5	5/8"	1 3/4" 2 3/4" > 5"	13" 8" 5"



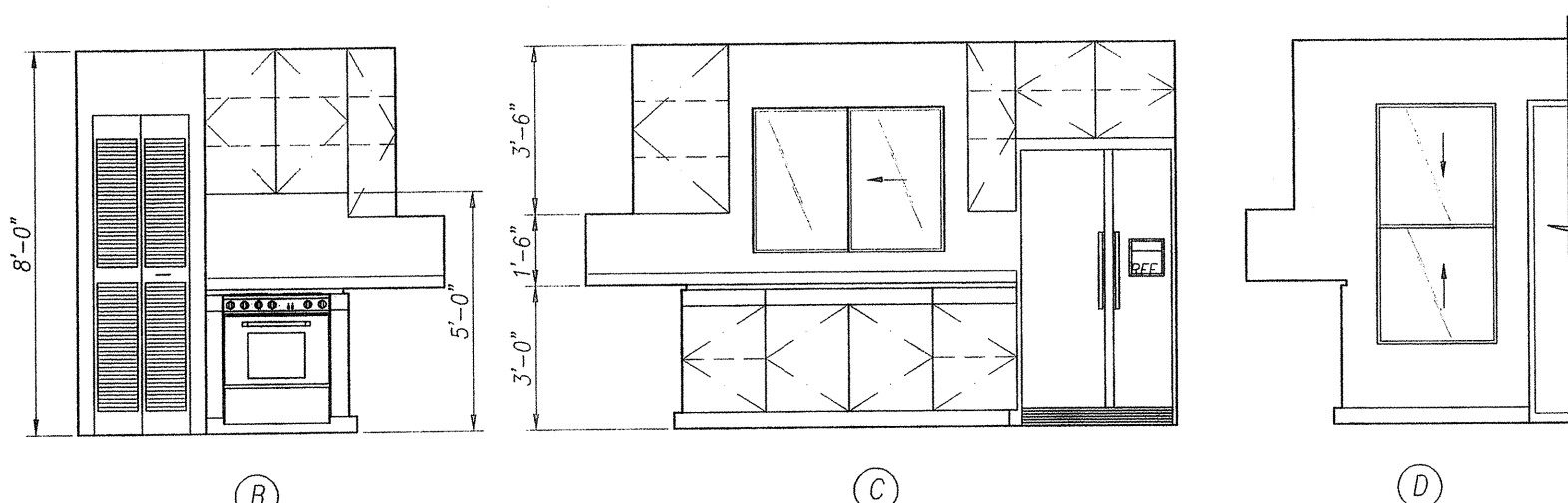
SHEARWALL BETWEEN TRUSSES



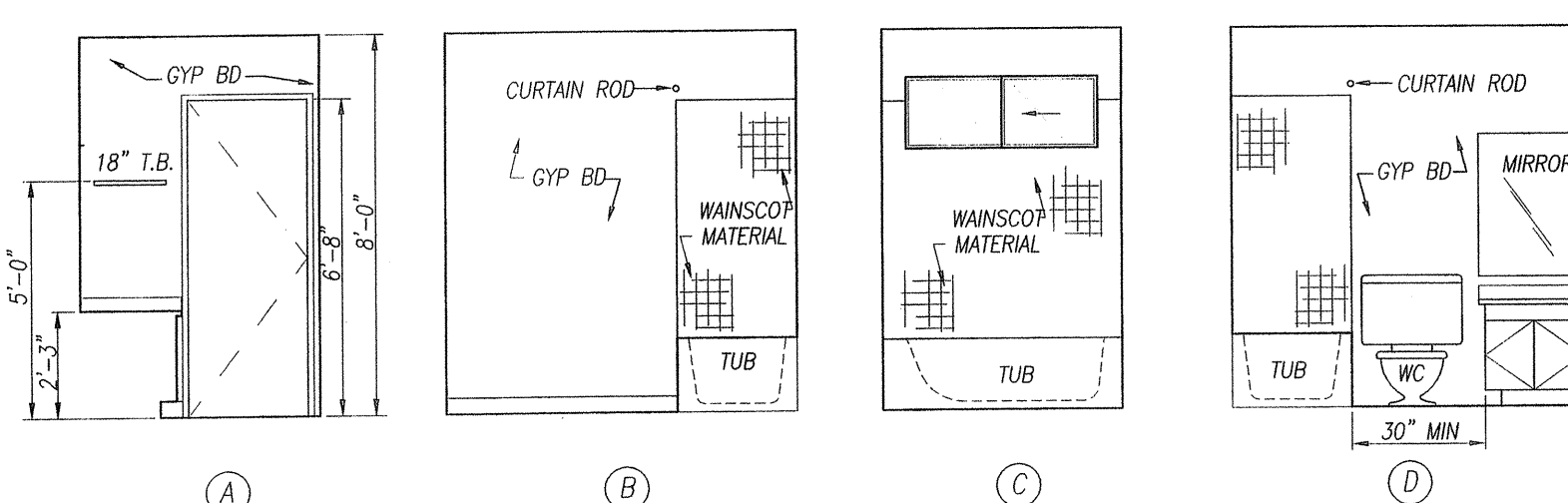
SHEARWALL @ TRUSSES

TYP. SHEAR WALL TO TRUSS CONN. DETAIL

SCALE: 1/2"=1'-0"



KITCHEN



BATH

CONTRACTOR TO USE WATER RESISTANT GYP BD FOR BATHROOMS

INTERIOR ELEVATIONS

1/4"=1'-0"

GENERAL NOTES:

- CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND CONDITIONS PRIOR TO STARTING WORK. ALL DISCREPANCIES SHALL BE REPORTED TO THE OWNER.
 - ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE STARTING ANY WORK SO INVOLVED.
 - ALL WORK SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE, CURRENT EDITION, AS ADOPTED BY THE CITY AND COUNTY OF HONOLULU.
 - UNLESS SPECIFICALLY DETAILED ELSEWHERE, CONTRACTOR SHALL FOLLOW TYPICAL DETAILS ON THIS SHEET.
 - DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR JOB SITE SAFETY. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE DESIGN AND PROVISION OF ALL TEMPORARY BRACING, SHORING, GUYS, ETC.
 - THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL EXCAVATION PROCEDURES INCLUDING SHORING, LAGGING AND PROTECTION OF ADJACENT PROPERTIES AND UTILITIES.
- WOOD:
- ALL WOOD STRUCTURAL MEMBERS SHALL BE DOUGLAS FIR MEETING THE FOLLOWING MINIMUM GRADES AS ESTABLISHED BY THE WEST COAST LUMBERMENS ASSOCIATION:
4x BEAMS AND POSTS NO. 1 OR BETTER
2x JOISTS NO. 2 OR BETTER
2x EXTERIOR STUDS NO. 1 OR BETTER
 - PROVIDE 15# FELT BELOW ALL PLATES RESTING ON CONCRETE OR MASONRY.
 - PROVIDE STANDARD WASHERS AT ALL BOLTS AND NUTS BEARING ON WOOD.
 - HOLES THROUGH JOISTS, PLATES, AND STUDS SHALL BE CENTERED IN THE MEMBER AND SHALL NOT EXCEED 1/3 THE MEMBER WIDTH. ALL HOLES SHALL BE BORED. HOLES IN JOISTS SHALL BE LIMITED TO THE MIDDLE THIRD OF THE SPAN.
 - ALL PRE-FABRICATED METAL CONNECTORS INDICATED ON DRAWINGS ARE "SIMPSON STRONG TIE" CONNECTORS. USE ONLY APPROVED SIMPSON ANNUAL RING NAILS MADE SPECIFICALLY FOR THESE CONNECTORS. FOLLOW NAILING SCHEDULE AS SPECIFIED BY MANUFACTURER.
 - MINIMUM NAILING SHALL COMPLY WITH TABLE 25-3 OF THE INTERNATIONAL BUILDING CODE.
 - ALL WOOD STRUCTURAL MEMBERS SHALL BE PRESSURE TREATED WITH AN APPROVED PROCESS TO PROTECT AGAINST ROT AND INSECT DAMAGE.
 - PLYWOOD SHEATHING SHALL BE STRUCTURAL 1, CONFORMING TO U.S. COMMERCIAL STANDARDS PS 1-74. EXCEPT AS NOTED OTHERWISE, PROVIDE THE FOLLOWING MINIMUM NAILING TO ALL JOISTS, STUDS, PLATES, BEAMS, ETC.
1/2" PLYWOOD 8d @ 4" o.c.
5/8" PLYWOOD 8d @ 4" o.c.
3/4" PLYWOOD 10d @ 8" o.c.

- LAY ALL ROOF AND FLOOR SHEATHING WITH FACE GRAIN ACROSS SUPPORTS, STAGGER PANELS.
- AT ALL SOLE PLATES RESTING ON CONCRETE, PROVIDE 16 PENNY FASTENERS AT 12" O.C. ADDITIONALLY, PROVIDE SIMPSON "MAS" ANCHORS AT 4'-0" O.C. AT ALL EXTERIOR WALLS.
 - PROVIDE SIMPSON "HT" OR "HT25" HURRICANE TIES BETWEEN RAFTER AND TOP PLATE AT ALL EAVE RAFTERS.
 - PROVIDE 2x CONTINUOUS STRUCTURAL FASCIA AT ALL EAVES FASCIA SUPPORTS

FOUNDATION NOTES:

- ALL FOOTING TRENCHES, FILL, AND BACKFILL OPERATIONS SHALL BE MONITORED BY THE OWNER. CONTRACTOR SHALL MAKE APPROPRIATE ARRANGEMENTS FOR INSPECTIONS AS REQUIRED.
- CENTER FOOTING ON COLUMN, UNLESS NOTED OTHERWISE.
- UNLESS NOTED OTHERWISE, FOOTING REINFORCING BARS ARE BOTTOM BARS. PROVIDE 3" COVER AT BOTTOM OF FOOTING.
- FOOTING THICKNESS ARE MINIMUM THICKNESS ONLY AND MAY BE INCREASED DUE TO SPECIFIC CONDITIONS.
- CLEAN AND MOISTEN FOOTING TRENCHES PRIOR TO POURING FOOTING.
- DO NOT PLACE CONDUITS AND UTILITY LINES IN FOOTING TRENCHES.
- TYPICAL INTERIOR SLAB ON GRADE CONSTRUCTION SHALL BE 4" CONCRETE SLAB REINFORCED WITH #4 @ 24" O.C. E.W. OVER 6 MIL. POLYETHYLENE MOISTURE BARRIER OVER 4" BASE COURSE.
- THERE IS NO SOIL'S REPORT. THE OWNER SHALL INDEMNIFY AND HOLD HARMLESS THE STRUCTURAL ENGINEER FOR ALL DAMAGES RELATING TO OR RESULTING FROM THE SOILS ASSUMPTION MADE BY THE STRUCTURAL ENGINEER.

PRE-FABRICATED WOOD TRUSSES:

- DESIGN SHALL CONFORM TO THE AF & PA NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION AND TRUSS PLATE INSTITUTE DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED WOOD TRUSSES.
- MANUFACTURER SHALL PROVIDE TRUSS DESIGN DRAWINGS SEALED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF HAWAII PRIOR TO FABRICATION.
- TRUSSES SHALL BE DESIGNED FOR THE FOLLOWING LOADS:
LIVE LOAD - 20 PSF
DEAD LOAD - 12 PSF MIN. 15 PSF MAX
WIND LOAD - PER IRC BASED ON EFFECTIVE WIND SPEED OF 130 MPH
D. DEFLECTIONS SHALL NOT EXCEED SPAN/360 FOR LIVE LOAD OF SPAN/240 FOR TOTAL LOAD.

LOADS

- ROOF LIVE LOAD 20 PSF
- FLOOR LIVE LOAD 40 PSF
- EFFECTIVE WIND SPEED 105 MPH, EXPOSURE 'B'
- SEISMIC DESIGN CATEGORY C
- SITE CLASS D

SPECIAL INSPECTION

- THE FOLLOWING ITEMS REQUIRE SPECIAL INSPECTION PER SECTION 1704 OF THE 2003 INTERNATIONAL BUILDING CODE:
1. COMPLETE LOAD PATCH AND UPLIFT TIES.
2. SHEATHED DIAPHRAGMS AND SHEAR WALLS.
- THE OWNER SHALL BE RESPONSIBLE FOR NOTIFYING THE SPECIAL INSPECTOR 48 HOURS PRIOR TO THE NEED OF INSPECTION SERVICES.

CONCRETE:

- ALL CONCRETE WORK SHALL CONFORM TO AC308-05.
- SLEEVES EXCEEDING ONE THIRD THE WALL THICKNESS SHALL NOT BE PLACED IN STRUCTURAL CONCRETE. UNLESS SPECIFICALLY DETAILED, PIPES MAY PASS THROUGH STRUCTURAL CONCRETE IN SLEEVES BUT SHALL NOT BE EMBEDDED THEREIN.
- ALL SLABS-ON-GRADE SHALL BE POURED WITH RACK CONTROL JOINTS NOT MORE THAN 20'-0" APART OR AS INDICATED IN DRAWINGS. JOINTS SHALL BE SAVED OR MADE WITH PRE-FORMED METAL KEYS. AT AREAS TO RECEIVE FLOOR TILE OR PAVERS, THE CONTRACTOR SHALL COORDINATE LAYING OF TILE SUCH THAT THE TILE JOINTS ALIGN WITH THE SLAB JOINTS. THESE JOINTS SHALL BE CAULKED WITH AN ELASTOMERIC SEALANT TO MATCH GROUT JOINT. FAILURE TO DO SO WILL RESULT IN CRACKING OF THE FLOOR TILE.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEERING 48 HOURS PRIOR TO THE POURING OF ANY STRUCTURAL CONCRETE SO AN INSPECTION CAN BE MADE PRIOR TO POURING. NO POUR SHALL PROCEED WITHOUT THE CONSENT OF THE STRUCTURAL ENGINEER.
- 28 DAY COMPRESSIVE STRENGTH, AGGREGATE SIZE AND SLUMP SHALL BE AS FOLLOWS:
SLUMP (4'-1')

STRENGTH (PSI)	MAXIMUM AGGREGATE	SLUMP (4'-1')
2500	3-1/2"	3-1/2"
2500	1-1/2"	3-1/2"
2500	1-1/2"	3-1/2"

REINFORCING STEEL:

- ALL REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60.
- WELDING TO REINFORCING BARS SHALL BE PROHIBITED EXCEPT BY SPECIFIC AUTHORIZATION OF THE STRUCTURAL ENGINEER.
- REINFORCING SHALL BE SPLICED ONLY AS SHOWN ON DRAWINGS. ALL OTHER SPLICES SHALL BE APPROVED BY THE STRUCTURAL ENGINEER.
- BARS NOTED "CONT." SHALL BE SPLICED A MINIMUM OF 40 BAR DIAMETERS, BUT NEVER LESS THAN 2'-0".
- PROVIDE DOWELS IN FOOTINGS AND GRADE BEAMS THE SAME SIZE AND SPACING AS COLUMN AND WALL BARS. UNLESS NOTED OTHERWISE, PROVIDE A MINIMUM LAP OF 40 BAR DIAMETERS BUT NEVER LESS THAN 2'-0".
- MINIMUM CONCRETE COVER FOR REINFORCING BARS SHALL BE:
CONCRETE CAST AGAINST EARTH - 2"
EXPOSED TO EARTH OR WEATHER - 2"

GENERAL NOTES & REQUIREMENTS

1. COMPLIANCE WITH CODES, RULES, REGULATIONS AND ADA ACCESSIBILITY GUIDELINES

WORK PERFORMED BY THE CONTRACTOR SHALL FULLY COMPLY WITH ALL APPLICABLE LAWS, CODES, RULES, AND REGULATIONS AS SET FORTH IN: UNIFORM BUILDING CODE, UNIFORM PLUMBING CODE, UNIFORM FIRE CODE, NATIONAL ELECTRICAL CODE, BOARD OF WATER SUPPLY, DEPARTMENT OF ENVIRONMENTAL SERVICES AS CURRENTLY ADOPTED BY THE CITY AND COUNTY OF HONOLULU, STATE DEPARTMENT OF HEALTH AND ALL OTHER APPLICABLE GOVERNMENTAL RULES AND REGULATIONS. ALL CONSTRUCTION WORK SHALL MEET OR EXCEED APPLICABLE CODES, RULES, REGULATIONS AND DESIGN REQUIREMENTS SET FORTH IN THE CONSTRUCTION DOCUMENTS, INCLUDING DESIGN REQUIREMENTS THAT EXCEED THE MINIMUM REQUIREMENTS OF CODES, RULES REGULATIONS AND THE ACCESSIBILITY GUIDELINES.

2. CONFLICTS, OVERLAPPING DETAILS AND WORK DESCRIPTIONS

CONFLICTS AND DESCRIPTIONS SHOWN AND/OR CALLED OUT IN DIFFERENT AREAS OF THE CONSTRUCTION DOCUMENTS AND IN DIFFERENT ARCHITECTURAL AND ENGINEERING DISCIPLINES SHALL BE SUPPLEMENTAL TO EACH OTHER. CONTRACTOR SHALL REPORT IN WRITING ANY CONFLICTS, OVERLAPPING DETAILS AND WORK DESCRIPTIONS TO THE OWNER FOR CLARIFICATION DURING THE BIDDING. DURING THE CONSTRUCTION, IN THE EVENT THAT CONFLICTS AND OVERLAPPING OF DETAILS AND WORK DESCRIPTIONS ARE DISCOVERED, THE MOST STRINGENT REQUIREMENTS FROM EACH DETAIL OR WORK DESCRIPTION, EVALUATED INDIVIDUALLY, SHALL APPLY. DETERMINATION OF THE STRINGENCY SHALL BE MADE BY THE CONTRACTOR.

3. TESTING

CONTRACTOR SHALL BE ALSO RESPONSIBLE FOR SOIL COMPACTION TEST, CONCRETE STRENGTH AND SLUMP TESTS, WATER LEAKAGE TEST FOR TOILETS AND KITCHEN, CONCRETE VAPOR AND MOISTURE TEST, TEST AND CERTIFY, SMOKE DETECTORS AND ELECTRICAL SYSTEM. ALL TESTING SHALL BE PERFORMED BY LICENSED AND CERTIFIED PERSONNEL AND LABORATORIES. COPIES OF TESTING RECORDS AND REPORTS SHALL BE SUBMITTED TO THE OWNER. COST FOR ALL TESTING SHALL BE ENTIRELY BORNE BY THE CONTRACTOR.

4. DUST, NOISE AND ODOR

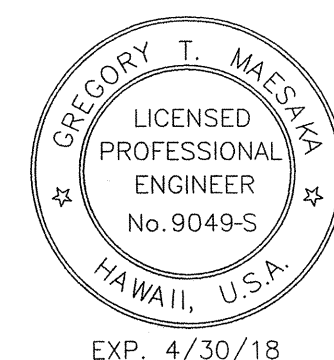
CONTRACTOR SHALL, AT HIS SOLE EXPENSE, KEEP THE PROJECT AND SURROUNDING AREAS CLEAN AND FREE FROM DUST, NOISE AND ODOR NUISANCES DURING CONSTRUCTION. THE OWNER AND/OR THE ENGINEER MAY ORDER STOP WORK AT ANY TIME SHOULD THE NUISANCE BECOME EXCESSIVE AS DEEMED BY THE STATE. COST INCURRED AS A RESULT OF WORK STOPPAGE DUE TO CONTRACTOR'S ACTION SHALL BE BORNE SOLELY BY THE CONTRACTOR.

5. INCIDENTAL WORK

WORK INCIDENTAL TO BUT NOT LIMITED TO CONSTRUCTION SHALL BE PART OF CONTRACTOR'S BASE WORK. INCIDENTAL WORK SHALL INCLUDE MAJOR FIELD ADJUSTMENT TO ACCOMMODATE NEW CONSTRUCTION DUE TO HIDDEN OBSTACLES AND CONCEALED ELEMENTS. OBVIOUS WORK REQUIRED FOR CONSTRUCTION BUT NOT SPECIFICALLY CALLED OUT IN THE CONSTRUCTION DOCUMENTS SUCH AS REQUIREMENTS FOR DEMOLITION AND/OR RECONSTRUCTION OF A SMALL PORTION OF EXISTING CEILING, WALL AND FLOORING, RELOCATION AND/OR REINSTALLATION OF PLUMBING WORK, FIRE SPRINKLING PIPE, STON, LANDSCAPE IRRIGATION SYSTEM, AIR CONDITIONING PIPING AND DUCTING, ELECTRICAL SWITCHES, OUTLETS, CONDUITS, LIGHT FIXTURES, CABLES, FIRE ALARMED PULL STATIONS, REINSTALLATION OF WALL AND FLOOR FINISH, BLOCKING AND SHIMS FOR MOUNTING OF FIXTURES, ETC., DUE TO DISTURBANCE OF SURFACE FINISH AND/OR SUBSTRATUM SHALL BE PART OF THE CONTRACTOR'S BASE WORK.

6. EXISTING CONDITIONS AND DIMENSIONS

CONDITIONS AND DIMENSIONS SHOWN IN THE DRAWINGS ARE APPROXIMATE AND NOT GUARANTEED AS TO THE ACCURACY OR EXISTENCE OF HIDDEN OBSTACLES AND CONCEALED ELEMENTS THAT MAY AFFECT THE WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS, OBTAINING ACTUAL DIMENSIONS AND SLOPES, AND ADJUST WORK AS REQUIRED.



EXP. 4/30/18

THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY SUPERVISION

PROPOSED 2-STORY ADU DWELLING
FOR MR & MRS DEREK GEORGE

3157 HAYDEN ST

HONOLULU, HAWAII

SCALE: AS NOTED

TWO: 9-1-019-085

SHEET

FRAMING DETAILS AND NOTES

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OF

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REV: 5-05-16

REV: 3-8-16