

**STATE OF HAWAII
DEPARTMENT OF LAND AND NATURAL RESOURCES
OFFICE OF CONSERVATION AND COASTAL LANDS
Honolulu, Hawai'i**

File No: KA-3886
180-Day Exp. Date: June 26, 2022

June 24, 2022

**Board of Land and
Natural Resources
State of Hawai'i
Honolulu, Hawai'i**

REGARDING: Conservation District Use Application (CDUA) KA-3886 for the Boy Scouts of America Aloha Council Camp Ala Faye Improvements Project – Replacement of the Existing Trading Post.

**APPLICANT/
LANDOWNER:** Boy Scouts of America Aloha Council

AGENT: Kimi Yuen of PBR Hawai'i & Associates, Inc.

LOCATION: Kauhao Road, Nāpili-Kona & Pu'ukapele Forest Reserve, Waimea, Kaua'i

**TAX MAP KEY
(TMK):** (4) 1-4-001:015

AREA OF PARCEL: 29.00 acres

USE: Structures – Deconstruction and Replacement of existing 1,100 sq. ft Trading Post structure with a new 2,409 sq. ft Trading Post Structure

SUBZONE: Resource Subzone

PROPOSED USE

The applicants were originally proposing to deconstruct and replace the existing 1,100 sq. ft Trading Post structure with a new 2,409 sq. ft Trading Post structure. Additionally, the applicant is proposing to construct three (3) new toilets each with an approximate footprint of 5ft x 5ft and a shower room with an approximate footprint of 10ft x 11ft. During the process of CDUA KA-3886, the OCCL was informed that the applicants would only be moving forward with their proposed plans to deconstruct and replace the existing

Trading Post structure with a new 2,409 sq. ft Trading Post structure. Should the applicants wish to pursue those additional facilities that have been removed, they will submit a new application with OCCL.

The existing 1,100 sq. ft Trading Post structure is an open-air structure that contains an office, workspace, storage, and has been used for various merit badge activities. The application notes that the existing Trading Post structure has aged and incurred damage in recent winters from fallen tree debris. The applicants plan to demolish the existing Trading Post structure by deconstructing and recycling as much of the materials as possible.

The new Trading Post structure will be built in the same location and will be a similar single-story, open pavilion type structure. It will have an approximate structural footprint of 2,409 sq. ft and contain storage, ADA restrooms, a preparation room, maintenance closet, and office space. The new Trading Post structure will be connected to the existing water and individual wastewater systems. The applicants notes that the new Trading Post structure will be utilized in a similar fashion (gatherings and recreation) as the existing structure. See **Exhibit 1**.

DESCRIPTION OF AREA/CURRENT USE

The subject parcel is located within the Kōke'e State Park and Waimea Canyon State Park near the rim of Waimea Canyon in western Kaua'i. The subject parcel is surrounded by State Park land and lies in the Resource Subzone of the State Land Use Conservation District. See **Exhibit 2**.

Camp Alan Faye, also known as the Kōke'e Scout Reservation, encompasses approximately 29-acres. The application notes that Camp Alan Faye was constructed and has been operating since 1958; however, OCCL files indicate that the camp was developed in 1913. The site is used as a base camp, Troop and Pack weekend outings, Scout resident Summer Camp, and for Staff Development Training. Camp Alan Faye is available to other community organizations for the own structured programs as well.

Facilities include a two-story cabin (camp office/first aid), Butler building (scout/staff sleeping quarters), Campfire bowl, Trading Post/craft shelter, Central shower/restroom facility, and eight (8) unimproved campsites. According to OCCL files, the Board of Land and Natural Resources approved CDUP KA-3191 for the after-the-fact subdivision of land which created the 29.00-acre parcel the camp occupies¹. On June 9, 2017, the Department issued Site Plan Approval authorization (SPA: KA 17-60) for the demolition of a 300 sq. ft facility consisting of four (4) showers and six (6) individual latrines located throughout the camp. The authorization included the construction of a new 1,040 sq. ft comfort station consisting of three (3) standard showers, four (4) standard toilets, and one (1) ADA shower and toilet. A new individual wastewater treatment system was installed as well consisting of two (2) 1,250-gallon septic tanks and three (3) 690 sq. ft

¹ The land that makes up the Camp Alan Faye parcel was formerly owned by the State and then acquired by the Boy Scouts as part of a land exchange in 2004 that was approved by the 2003 Legislature under Act 27.

leach/absorption fields. The application notes that the individual waste system was approved by the Department of Health and a greywater system was permitted by the County of Kaua'i Department of Public Works Building Division for the disposing of the effluent.

The Camp Alan Faye property sits at an approximate elevation range of 3,030 to 3,300 feet above mean sea level. Access to Camp Alan Faye is off the unpaved Kauhao Ridge Road via Kōke'e Road. The Camp Alan Faye two-story cabin and butler building receive electricity from the Kaua'i Island Utility Cooperative (KIUC) through electrical lines that run along the east side of the property. The shower and toilets utilize DC battery power, and the remainder of the property is not powered unless users bring their personal generators. The application notes that there are no wired communication services at the property and is connected to the State Parks water system.

The project site lies within the Pu'u ka Pele Dissected Uplands physiographic division and is characterized by its irregular and rolling topography and numerous erosional gullies. Soils in the area are Oli Medial Silt Loam (30-70% Slopes) and Paaiki Loam (6-35% Slopes). Oli Medial Silt Loam soils occur on ash fields, runoff is medium, is approximately 20 to 40 inches deep to bedrock, and typically used for pasture and wildlife habitat. Paaiki Loam soils occurs on narrow ridges in the upland, permeability is moderately rapid, runoff is slow to medium, and the erosion hazard is slight to moderate. Paaiki Loam soils typically are used for woodland, wildlife habitat, and water supply.

Hazards

Due to its upland location, Camp Alan Faye is located outside of tsunami evacuation zones and sea level rise exposure areas. Volcanic hazards in the area of Camp Alan Faye and Waimea Canyon State Park are also considered very minimal due to the extinct status of the volcanoes comprising Kaua'i. The island of Kaua'i is in Seismic Design Category A which is the lowest level of earthquake hazard and probability of experiencing damaging earthquake effects. The application notes that the proposed structures will seek the appropriate building permits and meet required construction standards to help minimize potential impacts due to earthquakes. A Flood Zone Map obtained from the State's Flood Hazard Assessment Tool website shows that the subject property is in Flood Zone X which is defined as areas that are outside of the 500-year floodplain (*Exhibit 3*).

Flora and Fauna

A biological survey was prepared for the proposed project by LeGrande Biological Surveys, Inc. According to the study, no threatened or endangered plant species, as listed under either federal or state of Hawai'i endangered species status, were observed during the flora survey of the project site and property. However, the OCCL notes that during the processing of CDUA KA-3886 it was brought to the applicant's attention by a DOFAW Kaua'i Botanist that endangered trees are on and near the subject property but not within the proposed project site(s). Upon receiving this information, the applicant has reached out to DOFAW to protect these species. The applicant will allow DOFAW access

to the trees and will work with DOFAW during construction to ensure their protection. A site visit is being scheduled to further these discussions.

The Camp Alan Faye parcel is characterized by a dense forest of swamp mahogany (*Eucalyptus robusta*) with a relatively sparse understory. The main camp areas are dominated by a mix of grass species with the edges of the campgrounds having more shrub species. A total of fifty-one (51) naturalized plant species were observed within the property. Thirty-eight (38) species are alien (introduced), and the remaining thirteen (13) are native; six (6) indigenous (native to the Hawaiian Islands and elsewhere) and seven (7) endemics (native only in the Hawaiian Islands).

Common understory species in the area include grasses such as Guinea grass (*Megathyrus maximus*), little quaking grass (*Briza minor*), meadow ricegrass (*Ehrharta stipoides*), glenwood grass (*Sacciolepis indica*), and fimbriate paspalum (*Paspalum fimbriatum*). Other woody and herbaceous weedy species include, partridge pea (*Chamaecrista nictitans*), kahili ginger (*Hedychium gardnerianum*), Asiatic pennywort (*Centella asiatica*), daisy fleabane (*Erigeron karvinskianus*), black medick (*Medicago lupulina*), and narrow-leaved plantain (*Plantago lanceolata*). Loquat (*Eriobotrya japonica*) trees and a citrus (*Citrus* sp.) have been planted around the perimeter of the pavilion.

Along the edges of the campground and along the sloping sides that continue into the gulches to the north and south of the property, larger trees and shrubs were observed. The northern edge of the property harbored the majority of the native plant species including, kilau (*Pteridium aquillinum* var. *decompositum*), moa (*Psilotum nudum*), halapepe (*Pleomele aurea*), 'uki (*Dianella sandwicensis*), maile (*Alyxia stellata*), pukiawe (*Leptecophylla tameiameia*), koa (*Acacia koa*), 'ohi'a lehua (*Metrosideros polymorpha*), 'olena (*Comprosuma waimeae*), kopiko kea (*Psychotria kaduana*), and 'a'li'i (*Dodonaea viscosa*). Most of these natives were observed outside of the disturbance area for the proposed project; however, care should be taken to avoid pushing any soil or debris into adjacent slopes and gulches from construction areas as many of the native plant species are in these locations.

During the faunal survey, a total of forty-two (42) individual birds of ten (10) species, representing eight (8) separate families, were recorded on the Camp Alan Faye property. All avian species recorded are common established alien or feral species. Avian diversity and densities were in keeping with the location and the almost completely alien vegetation on the property. Three introduced species, Warbling White-eye (*Zosterops japonicus*), Japanese Bush-Warbler (*Horonis diphone*), and White-rumped Shama (*Copsychus malabaricus*) accounted for 52 percent of the total number of birds recorded. Warbling White-eye was the most tallied species, which accounted for 21 percent of the birds recorded during point counts.

Both the endangered Hawaiian Petrel (*Pterodroma sandwichensis*) and the threatened Newell's Shearwater (*Puffinus newelli*) over-fly the project area between April and the middle of December each year. It is also possible that the endangered Band-rumped Storm-Petrel (*Hydrobates castro*) also over-fly the property during the seabird nesting season. There is no suitable nesting habitat for any of these seabird species within the project site or near it; however, all three (3) species are regularly recovered as downed birds in the lowlands of Kaua'i on an annual basis. The principal potential impact that the

construction of the project poses to protected seabirds is the increased threat that birds will be downed after becoming disoriented by lights associated with the proposed action during the nesting season. The two main areas that outdoor lighting could pose a threat to these nocturnally flying seabirds is a) during construction, if it is deemed expedient, or necessary to conduct night-time construction activities (currently no nighttime construction is anticipated); b) following build-out, the potential use of streetlights or other exterior lighting during the seabird fledging season which runs from September 15 through December 15. All exterior lights installed within the new facilities will be dark-sky compliant. No night-time construction is being proposed and it is not expected that the proposed action will result in deleterious impacts to protected seabirds.

No mammalian species currently proposed for listing or listed under either the federal of State of Hawai'i endangered species statutes were recorded during the surveys. The only mammalian species detected during these surveys were tracks, scat and sign of feral pigs (*Sus scrofa*).

Although no rodents were recorded on the Camp Alan Faye property at the time of the survey, it is likely that one (1) or more of the other four (4) established mice and rats (*Rodentia*, *Muridae*) found on Kaua'i could use various resources found within the general project area on a seasonal basis. These human commensal species are drawn to areas of human habitation and activity. All these introduced mammalian species are deleterious to native ecosystems and the native faunal species dependent on these native ecosystems.

No Hawaiian hoary bats were detected on the Camp Alan Faye property; however, it is within the realm of possibility that this species may use resources within portions of the project area on a seasonal basis. The principal potential impact that construction could pose to bats is during the clearing and grubbing phase of the construction. The trimming or removal of foliage and/or trees within the construction areas may temporarily displace individual bats, which may use the vegetation as a roosting location. During the pupping season, female carrying their pups may be less able to rapidly vacate a roost site while vegetation is cleared. Additionally, adult female bats sometimes leave their pups in the roost tree while they themselves forage, and very small pups may be unable to flee a tree that is being felled. Potential adverse effects from such disturbance will be avoided or minimized by not clearing woody vegetation taller than 4.6 meters (15-feet), between June 1 and September 15, the pupping season.

Historic/Cultural

An archeological literature review and field inspection report was prepared for the property. The study involved detailed historical, cultural, and archaeological background research and a field inspection of the project area to determine the likelihood that cultural resources/historic properties may be affected by the project and based on findings, consider cultural resource management recommendations. The study did not reveal or identify any known archeological sites or resources within the parcel.

According to the report, beginning in the second half of the nineteenth century and continuing throughout the twentieth century, the traditional Hawaiian landscape of the

Waimea Canyon State Park has been altered by the development of the parks and economic ventures, including construction of an irrigation system for sugarcane lands of the Waimea and Mānā plain. This pervasive transformation for park development and for western commercial agriculture and ranching pursuits has obscured much of the physical evidence of traditional Hawaiian life within the area.

Historic and archaeological research has revealed that in traditional Hawaiian times, the uplands of Waimea, including the present state parks (Kōkeʻe and Waimea Canyon state parks), contained habitation sites (both permanent and temporary) and heiau (pre-Contact place of worship) sites. Abundant flora in the upland forests of Kōkeʻe offered supplies of plants gathered for ceremonial and medicinal purposes, and wood for construction of canoes. Hunting practices in the parks area included bird catching and pig hunting. However, no information could be specifically tied to the site and there were no surface historic properties identified within the proposed project area. Therefore, the report concludes that no further archaeological work is proposed or needed for the project.

While there are no known archaeological sites within the Camp Alan Faye parcel, the Boy Scouts will comply with all state and county laws and rules regarding the preservation of cultural and historic sites should any be discovered in the future.

Camp Alan Faye was established in 1913 and named after the manager, Alan Faye, of the Waimea Sugar Company and Waimea Dairy. During his lifetime, Alan Faye Sr. (1905–1968) served as an officer in the Kauai Volunteers and a troop commander that patrolled ranch lands. He was also active in the Boy Scouts.

Waimea Canyon and Kōkeʻe State Parks have long been the site of social gatherings with a variety of functions: recreation, religious practice, art and dance, resource collection, and community festivals. In addition, for countless residents of Kauaʻi the park has served as a “classroom” for handing down traditional practices related to hunting, resource gathering, and crafts. All these activities instill value in the park as a living cultural landscape with direct and ongoing links to pre- and post-contact histories and traditions.

With its scouting program at Camp Alan Faye, the Boy Scouts are proud to contribute to the larger cultural context of Kauaʻi. The Boy Scouts have not received requests from Native Hawaiians to access the Camp Alan Faye parcel for cultural purposes; however, access to the parcel is permitted with permission from the Boy Scouts. Occasionally, they receive requests for access from hunters. These requests are granted, and hunters may use the access road with permission of the Boy Scouts.

Part of the CDUA process requires that the applicant submit a Hawaiʻi Revised Statutes (HRS), 6E form developed by SHPD. Pursuant to HRS, §6E-42, prior to any agency or officer of the State [in this case the Board] approves any project involving a permit, license, certificate, land use change, subdivision, or other entitlement for use, which may affect historic property, aviation artifacts, or a burial site, the agency or office [OCCL] shall advise SHPD prior to any approval and allow SHPD an opportunity to review and comment on the effect of the proposed project on historic properties.

On February 14, 2022, the OCCL submitted the required HRS, 6E form and supplemental information through SHPD’s HICRIS system for review with an Effect Determination “no

historic properties affected". It was accepted for project review and noted as 2022PR00191. No response was received within the 30–45-day review period from SHPD.

SUMMARY OF COMMENTS

The Office of Conservation and Coastal Lands referred the application, as well as the Draft Environmental Assessment (EA) to the following agencies and organizations for review and comment:

State Agencies:

DLNR, Water Resource Management
DLNR, Division of Conservation and Resource Enforcement
DLNR, Engineering Division
DLNR, Division of Forestry and Wildlife
DLNR, Kaua'i District Land Office
Office of Hawaiian Affairs

County Agencies:

County of Kaua'i, Planning Department
County of Kaua'i, Fire Department

Comments were received by the following agencies and individuals and summarized by Staff as follows:

THE STATE

DEPARTMENT OF LAND AND NATURAL RESOURCES

Commission on Water Resource Management:

Comments: Thank you for the opportunity to review the subject document. The Commission on Water Resource Management (CWRM) is the agency responsible for administering the State Water Code (Code). Under the Code, all waters of the State are held in trust for the benefit of the citizens of the State, therefore all water use is subject to legally protected water rights CWRM strongly promotes the efficient use of Hawaii's water resources through conservation measures and appropriate resource management. For more information, please refer to the State Water Code Chapter 174C Hawaii Revised Statutes, and Hawaii Administrative Rules, Chapters 13-167 to 13-171 These documents are available via the Internet at <http://dlnr.hawaii.gov/cwrn> .

Our comments related to water resources are checked off below.

4. We recommend that water efficient fixtures be installed and water efficient practices implemented throughout the development to reduce the increased demand on the area's freshwater resources. Reducing the water usage of a home or building may earn credit towards Leadership in Energy and Environmental Design (LEED) certification. More information on LEED certification is available at <http://www.usgbc.org/leed> . A listing of

fixtures certified by the EAP as having high water efficiency can be found at <http://www.epa.gov/watersense>.

5. We recommend the use of best management practices (BMP) for stormwater management to minimize the impact of the project to the existing area's hydrology while maintaining on-site infiltration and preventing polluted runoff from storm events. Stormwater management BMPs may earn credit toward LEED certification. More information on stormwater BMPs can be found at <http://planning.hawaii.gov/czm/initiatives/low-impact-development/>

8. We recommend adopting landscape irrigation conservation best management practices endorsed by the Landscape Industry Council of Hawaii. These practices can be found online at [http://www.hawaiiscape.com/wp-content/uploads/2013/04/LICH Irrigation Conservation BMPs.pdf](http://www.hawaiiscape.com/wp-content/uploads/2013/04/LICH_Irrigation_Consevation_BMPs.pdf).

9. There may be the potential for ground or surface water degradation/contamination and recommend that approvals for this project be conditioned upon a review by the State Department of Health and the developer's acceptance of any resulting requirements related to water quality.

Applicants' response: Mahalo for your letter dated January 31, 2022, regarding the subject application (Reference: RFD.5858.2). As the planning subconsultant for the Boy Scouts of America Aloha Council, we appreciate your comments and offer the following responses.

1. We acknowledge that the Commission on Water Resource Management (CWRM) recommends that water efficient fixtures be installed, and water efficient practices implemented throughout the development to reduce the increased demand on the area's freshwater resources. The design team will refer to the listing of fixtures certified by the Environmental Protection Agency (EPA) as having high water efficiency which can be found at <http://www.epa.gov/watersense>. We further acknowledge that reducing the water usage of a home or building may earn credit towards Leadership in Energy and Environmental Design (LEED) certification.
2. We acknowledge that CWRM recommends the use of best management practices (BMP) for stormwater management to minimize the impact of the project to the existing area's hydrology while maintaining on-site infiltration and preventing polluted runoff from storm events, and appreciate the resource provided for more information on stormwater BMPs (<http://planning.hawaii.gov/czm/initiatives/low-impact-development/>). We further acknowledge that stormwater management BMPs may earn credit toward LEED certification.
3. We acknowledge that CWRM recommends adopting landscape irrigation conservation best management practices endorsed by the Landscape Industry Council of Hawai'i which can be found online at [http://www.hawaiiscape.com/wp-](http://www.hawaiiscape.com/wp-content/uploads/2013/04/LICH_Irrigation_Consevation_BMPs.pdf)

[content/uploads/2013/04/LICH_Irrigation_Conservation_BMPs.pdf](#). There will not be any irrigation installed as part of this project.

4. We understand that there may be the potential for ground and surface water degradation/contamination and that approvals for this project may be conditioned upon a review by the State Department of Health. BSA will accept any resulting requirements related to water quality.

Engineering Division:

Comments: The rules and regulations of the National Flood Insurance Program (NFIP), Title 44 of the Code of Federal Regulations (44CFR), are in effect when development falls within a Special Flood Hazard Area (high-risk areas). Be advised that 44CFR, Chapter 1, Subchapter B, Part 60 reflects the minimum standards as set forth by the NFIP. Local community flood ordinances may stipulate higher standards that can be more restrictive and would take precedence over the minimum NFIP standards.

The owner of the project property and/or their representative is responsible to research the Flood Hazard Zone designation for the project. Flood zones subject to NFIP requirements are identified on FEMA's Flood Insurance Rate Maps (FIRM). The official FI RMs can be accessed through FEMA's Map Service Center (msc.fema.gov). Our Flood Hazard Assessment Tool (FHAT) (<http://gis.hawaiiinfip.org/FHAT>) could also be used to research flood hazard information.

If there are questions regarding the local flood ordinances, please contact the applicable County NFIP coordinating agency below:

- Kauai: County of Kauai. Department of Public Works (808) 241-4849.

Applicants' response: Mahalo for your comments dated February 18, 2022, regarding the subject application. We appreciate the information provided regarding the rules and regulations of the National Flood Insurance Program (NFIP), local community flood ordinances, and related resources. The project site is located within "Zone X", an area determined to be outside of the 500-year floodplain.

Division of Forestry and Wildlife:

Comments: We appreciate and concur with the measures outlined in the CDUA to minimize night time lighting impacts to seabirds. We likewise concur with the mitigation measures proposed in the CDUA to avoid construction and operational impacts to State listed species such as the Hawaiian Hoary Bat or 'Ope'ape'a (*Lasiurus cinereus semotus*). Please include that barbed wire should also be avoided for any construction because bats can become ensnared and killed by such fencing during flight.

DOFAW provides the following additional comments regarding the potential impact of proposed work on listed species in the vicinity of the project.

State-listed waterbirds such as the Hawaiian Duck (*Anas wyvilliana*), Hawaiian Stilt (*Himantopus mexicanus knudseni*), Hawaiian Coot (*Fulica alai*), Hawaiian Goose or Nene (*Branta sandvicensis*), and Hawaiian Common Gallinule (*Gallinula chloropus sandvicensis*) have the potential to occur in the vicinity of the proposed project site. It is against State law to harm or harass these species. If any of these species are present during construction activities, then all activities within 100 feet (30 meters) should cease, and the bird should not be approached. Work may continue after the bird leaves the area of its own accord. If a nest is discovered at any point, please contact the Kaua'i Branch DOFAW Office at (808) 274-3433.

DOFAW recommends minimizing the movement of plant or soil material between worksites. Soil and plant material may contain pathogens, pests such as Little Fire ants and/or Coconut Rhinoceros beetles), or invasive plant parts that could harm our native species and ecosystems. We recommend consulting the O'ahu Invasive Species Committee (OISC) at (808) 266-7994 to plan, design, and construct the project to learn of any high-risk invasive species in the area ways to mitigate their spread. All equipment, materials, and personnel should be cleaned of excess soil and debris to minimize the risk of spreading invasive species.

To prevent the spread of Rapid 'Ohi'a Death (ROD), if 'ohi'a trees are present and will be removed, trimmed, or potentially injured DOFAW requests that the information and guidance at the following website be reviewed and followed: <https://cms.ctahr.hawaii.edu/rod>.

We appreciate your efforts to work with our office for the conservation of our native species. Should the scope of the project change significantly, or should it become apparent that threatened or endangered species may be impacted, please contact our staff as soon as possible. If you have any questions, please contact Paul Radley, Protected Species Habitat Conservation Planning Coordinator at (808) 295-1123 or paul.m.radley@hawaii.gov.

Applicant's response: Mahalo for your comments which were received February 8, 2022, regarding the subject application (Log no. 3470). As the planning subconsultant for the Boy Scouts of America Aloha Council, we appreciate your comments and offer the following responses.

- We acknowledge that in addition to the measures outlined in the CDUA to minimize nighttime lighting impacts to seabirds as well as the mitigation measures proposed to avoid construction and operational impacts to State listed species such as the Hawaiian Hoary Bat or 'Ōpe'ape'a (*Lasiurus cinereus semotus*), DOFAW would like to also include that barbed wire should be avoided for any construction because bats can become ensnared and killed by such fencing during flight. We will inform BSA to avoid using barbed wire and add this into the supplemental information provided to the Office of Conservation and Coastal Lands.

- We acknowledge that State-listed waterbirds such as the Hawaiian Duck (*Anas wyvilliana*), Hawaiian Stilt (*Himantopus mexicanus knudseni*), Hawaiian Coot (*Fulica alai*), Hawaiian Goose or Nēnē (*Branta sandvicensis*), and Hawaiian Common Gallinule (*Gallinula chloropus sandvicensis*) have the potential to occur in the vicinity of the proposed project site. If these species are present during construction activities, all activities within 100 feet will be ceased and the bird will not be approached. If a nest is discovered, the Kaua'i Branch DOFAW Office will be contacted.
- We acknowledge that DOFAW recommends minimizing the movement of plant or soil material between worksites as it may contain pathogens, pests, or invasive plant parts that could harm our native species and ecosystems. BSA does not anticipate the movement of any plant or soil material into the project site but will consult with the local Kaua'i Invasive Species Committee as needed. Additionally, all equipment, materials, and personnel will be cleaned of excess soil and debris to minimize the risk of spreading invasive species.
- We also recognize that there are 'ōhi'a trees present on the property as noted in the biological survey prepared for the CDUA, but they are not within the project site and will therefore not be removed, trimmed, or potentially injured. However, the information and guidance at the following website will be reviewed and followed to prevent the potential spread of Rapid 'Ōhi'a Death: <https://cms.ctahr.hawaii.edu/rod>.

Kaua'i District Land Office:

Comments: No Comments.

Applicants' response: Mahalo for your response that you have no comments regarding the subject application (Reference: OCCL: TF). As the planning subconsultant for the Boy Scouts of America Aloha Council, we appreciate your participation in the application review process.

Office of Conservation and Coastal Lands (OCCL):

Comments: The OCCL offers the following comments and questions on CDUA KA-3886:

- On page 9 of the CDUA, the application states "Oli Medial Silt Loam 30-70% Slopes" and then notes "Oli Medial Silt Loam 3-70% Slopes". Please clarify this discrepancy.
- Please include a Site/Floor Plan for the existing 1,100 sq. ft Trading Post structure.
- Please include a Site/Floor Plan for the proposed three (3) new 5ft x 5ft toilets and 10ft x 11ft shower room.
- Please include a trenching and grading plan.
- Are there trails on or nearby Camp Alan Faye and TMK: (4) 1-4-001:015?
- The OCCL was notified that endangered trees exist on and near the subject property. While the endangered trees do not appear to be in the project area, the

OCCL encourages the Boy Scouts of America (BSA) and their agent(s) to work with the Division of Forestry and Wildlife (DOFAW) to protect these species. Please contact DOFAW Kauai ((808) 274-3433) and DOFAW Kauai Botanist Adam Williams ((808) 639-3827 or Adam.M.Williams@hawaii.gov) regarding this matter.

Applicant's response: Regarding the Boy Scouts of America (BSA) Camp Alan Faye Improvements CDUA Application (KA-3886), as the planning consultant for the BSA Aloha Council, we appreciate your comments on the Conservation District Use Application (CDUA) and offer the following responses.

- A response to the request for clarification on the discrepancy on Page 9 of the CDUA was submitted to OCCL in a letter dated February 1, 2022 [see **Exhibit 4**]. A copy of the letter (minus the attachments) is included as Attachment B. It states in Item #1:
 - *...on page 9 of the CDUA, the application states, "Oli Medial Silt Loam 30-70% Slopes" and then notes "Oli Medial Silt Loam 3-70% Slopes"; the second mention should read "30-70% Slopes."*
- The site plan for the existing 1,100-square foot (SF) Trading Post structure is shown on the CDUA application's Exhibit A, second sheet (A01). There is a callout indicating the footprint of the existing Trading Post. A floor plan for the existing Trading Post structure was unable to be located in the BSA Aloha Council's files. However, the floor plan layout was drawn and is included with a copy of the architect's Trading Post sheet A01. See **Exhibit 1** sheet A01
- Please note that the two proposed standalone 5ft x 5ft toilets and the 10-foot by 11-foot shower room and third toilet located furthest west on the original site plan will be deleted from this application. Therefore, the requested trenching and grading plans are also not included. Should BSA wish to pursue those additional facilities, they will submit a new application with OCCL.
- A response to the question whether there are nearby trails on or nearby Camp Alan Faye and TMK: (4) 1-4-001:015 was submitted to OCCL in the February 1, 2022, letter. The letter stated:
 - ... there is one trail on the property and two nearby trails according to the Na Ala Hele Trail system maps from the Department of Land and Natural Resources Division of Forestry and Wildlife. The trails also serve as access roads. Kauhao Ridge Road runs through the property along the southern edge. The two trails nearest to the property include Kā'awiki Ridge Road to the south, connecting the two trails to the west of the property (see attached map). Each of these trails can be utilized by foot, bicycle, horse,

and 4WD vehicles and are used for hiking, hunting, and nature study. See ***Exhibit 4***.

- We understand that OCCL was notified of endangered trees on and near the subject property. The Division of Forestry and Wildlife (DOFAW) Kaua'i Botanist, Adam Williams, was contacted promptly upon receiving this information and BSA is working with DOFAW to protect these species. BSA will continue to allow DOFAW access to the trees and will work with DOFAW during construction of the new Trading Post to ensure their protection. A site visit is being scheduled between BSA and DOFAW to further these discussions.

In addition to the comments addressed above, in the comment letter from DOFAW dated February 8, 2022, it was requested that the following be added to the CDUA: “...*barbed wire should be avoided for any construction because bats (in reference to the Hawaiian Hoary Bat) can become ensnared and killed such fencing during flight*”. No barbed wire will be used during construction or installed on the property.

Office of Hawaiian Affairs:

Comments: The Office of Hawaiian Affairs (OHA) is in receipt of your letter dated December 29, 2021, requesting agency comments on the Conservation District Use Application (CDUA), KA-3886, for the Boy Scouts of America Aloha Council's Camp Alan Faye Improvements Project in Waimea, Kaua'i [TMK(4)1-4-001:015]. The applicant is proposing to replace an existing trading post structure, and construct 3 new toilets and a shower. Minor trenching is necessary for waterlines and septic lines. PBR Hawaii has prepared the application on behalf of the applicant.

Your letter further indicates that the project is exempt from Hawai'i Revised Statutes (HRS) 343 review per the Department of Land and Natural Resources Exemption List, General Exemption #3, established pursuant to Hawai'i Administrative Rules 11-200.1-16. Cultural Surveys Hawai'i (CSH), on behalf of the applicant, has determined that no historic properties were identified in the project area after completing an archaeological literature review and field inspection for this project. Aside from a few requests for hunting access, no cultural practices were identified as occurring in the area.

OHA notes that as part of OCCL's review, you have requested a trenching and grading plan, site/floor plans for the trading post and toilets, and to know if there are any trails on or nearby Camp Alan Faye. We respectfully request to also be provided with this same information. OHA has no further comments or concerns at this time.

Applicant's response: Mahalo for your emailed comments dated January 12, 2022, regarding the subject application. As the planning subconsultant for the Boy Scouts of America (BSA) Aloha Council, we appreciate your comments and offer the following response.

Please note that BSA has decided not to pursue the two proposed standalone 5ft x 5ft toilets and the 10-foot by 11-foot shower room and third toilet located furthest west on the original site plan and will be deleted from this application. Should BSA wish to pursue

those additional facilities, they will submit a new application with OCCL. A revised site plan is attached for your reference. Please see the attached plans for the trading post that were included in the Conservation District Use Permit Application.

With regards to nearby trails, there is one trail on the property and two nearby trails according to the Na Ala Hele Trail system maps from the Department of Land and Natural Resources Division of Forestry and Wildlife. The trails also serve as access roads. Kauhao Ridge Road runs through the property along the southern edge. The two trails nearest to the property include Kā'aweiki Ridge Road to the south, connecting to Kauhao Ridge Road in the southeast corner of the property, and Contour Road connecting the two trails to the west of the property. Each of these trails can be utilized by foot, bicycle, horse, and 4WD vehicles and are used for hiking, hunting, and nature study. A map of the trails is also attached.

COUNTY OF KAUA'I

KAUA'I FIRE DEPARTMENT

Comments: Due to access difficulties and distance from water supply, this project would require a sprinkler system.

Applicants' response: We acknowledge that due to access difficulties, the Kaua'i Fire Department's (KFD) initial opinion is that the Trading Post Pavilion will require a sprinkler system. However, due to concern over the constraints around providing a sprinkler system, a meeting was held between KFD, BSA Aloha Council representatives, and Palms Hawai'i (architect) on March 10, 2022 to discuss potential alternative fire protection measures.

As discussed in the meeting, there is no full-time water source to the project site. Water is only provided when the camp is in use to avoid wasting water caused by improper faucet use and vandalism. Regular water shut offs for maintenance work by the State of Hawai'i Department of Land and Natural Resources (DLNR) also occur, making consistent water access for a sprinkler system difficult.

Because of the water access issues discussed above, and the fact that the project has prior KFD approval of an earlier permit application, it was agreed that a brief report addressing the intent of National Fire Protection Agency (NFPA) 1142 and 1144, along with measures to protect life, property, and environment, upon approval, would be a suitable solution. Some initial ideas included clearing 30 feet of vegetation around the new trading post, shifting the new trading post further south, and installing a non-combustible metal roof. These ideas will also be discussed with biologists from the DLNR Division of Forestry and Wildlife (DOFAW) to ensure native vegetation (which starts on the slope to the north of the new trading post) are not impacted by the clearing. In addition, the use of a metal roof will be discussed with State Parks as BSA had initially designed the new trading post to be in conformance with their design guidelines for Kōke'e. BSA will continue to work with KFD, DOFAW, and State Parks on the solutions

and will include the resulting measures to protect life, property, and environment in the report submitted to KFD for approval.

ANALYSIS

Following review and acceptance for processing, the Applicant was notified, by correspondence dated January 5, 2022 that:

1. The proposed uses are identified land uses in the Resource Subzone of the Conservation District, pursuant to Hawaii Administrative Rules (HAR), §13-5-22 P-8 **STRUCTURES AND LAND USES, EXISTING** (D-1) Major alteration of existing structures, facilities, uses, and equipment, or topographical features which are different from the original use or different from what was allowed under the original permit. When county permit(s) are required for the associated plan(s), the department's approval shall also be required; and HAR, §13-5-22 P-9 **STRUCTURES, ACCESSORY** (B-1) Construction or placement of structures accessory to existing facilities or uses. Please be advised, however, that this finding does not constitute approval of the proposal;
2. Pursuant to HAR §13-5-40 HEARINGS, a Public Hearing will not be required;
3. In conformance with Hawaii Revised Statutes (HRS), Chapter 343, as amended, and HAR, Chapter 11-200.1-16 **Exemption lists**., the Office of Conservation and Coastal Lands (OCCL) and the consultants for the BSA have concurred that the proposed Camp Alan Faye Improvements project is exempt from the preparation of an Environmental Assessment and/or Impact Statement. The OCCL and BSA believe the proposed project is exempted under **General Exemption Type 3** *Construction and location of single new, small facilities or structures and the alteration and modification of the facilities or structures and installation of new, small, equipment and facilities and the alteration and modification of the equipment or facilities, including but not limited to: (A) Single family residences less than 3,500 square feet, as measured by the controlling law under which the proposed action is being considered, if not in conjunction with the building of two or more such units; (B) Multi-unit structures designed for not more than four dwelling units if not in conjunction with the building of two or more such structures; (C) Stores, offices and restaurants designed for total occupant load of twenty individuals or fewer per structure, if not in conjunction with the building of two or more such structures; and (D) Water, sewage, electrical, gas, telephone, and other essential public utility services extensions to serve such structures or facilities; accessory or appurtenant structures including garages, carports, patios, swimming pools, and fences; and acquisition of utility easements. Part 1 #9 Construction and location of new, small facilities or structures necessary to support or enhance public recreational use of lands and waters, such as outdoor showers, signage, interpretive kiosks, viewing platforms, tables, grills, lifeguard stations, improvements necessary for compliance with the Americans with Disabilities Act, and other similar structures. Part 2 #3 Construction and location of new, small facilities or structures necessary to support*

or enhance public recreational use of lands and waters, such as comfort stations and related individual wastewater disposal systems, sanitation facilities, pavilions, shelters, cabins, campgrounds, and other similar structures.

General Exemption Type 6 *Demolition of structures, except those structures that are listed on the National Register or Hawaii Register of Historic Places. Part 1 #2 Demolition and removal of existing structures, facilities, utilities, and other improvements, except those structures located on any historic site as designated in the National Register or Hawaii Register as provided for in the National Historic Preservation Act of 1966, 16 U.S.C §§470 et. seq., as amended, or Haw. Rev. Stat. Chapter 6E; and*

4. The subject area does not appear to be located in the Special Management Area.

CDUA KA-3886 was published in the February 23, 2022, edition of the Environmental Review Program's *The Environmental Notice*.

CONSERVATION CRITERIA

The following discussion evaluates the merits of the proposed land use by applying the criteria established in §13-5-30, HAR.

- 1) *The proposed use is consistent with the purpose of the Conservation District.*

The objective of the Conservation District is to conserve, protect, and preserve the important natural resources of the State through appropriate management and use to promote their long-term sustainability and the public health, safety, and welfare. The applicants have stated that they are committed to management of the site in a manner that will support this objective.

The proposed Trading Post will support scout education and merit badge activities in a sheltered space that will be connected to the surrounding natural environment. The new structure will be built in the same location as the existing one in the existing cleared area of the site. It will not require the removal of any native or endangered vegetation or extensive grading. Therefore, the proposed improvements are designed to protect and preserve the natural resources of the camp and its natural setting.

While the native plants were observed to be outside of the areas of disturbance for the proposed improvements, care will be taken to avoid pushing any soil or debris into adjacent slopes and gulches from construction areas as many of the native plant species are in these locations.

In addition, no nighttime construction will be performed, and dark sky compliant lighting will be installed to ensure no deleterious impacts to seabirds who can be downed after becoming disoriented by lights. No Hawaiian hoary bats were

detected on the Camp Alan Faye property; however, it is within the realm of possibility that this species may use resources within portions of the project area on a seasonal basis. Potential adverse effects from the trimming or removal of foliage and/or trees that may displace individual bats will be avoided or minimized by not clearing woody vegetation taller than 4.6 meters (15-feet), between June 1 and September 15, the pupping season.

Regarding the historic and cultural resources of the Conservation District, an archaeological literature review and field inspection of Camp Alan Faye did not reveal or identify any known archaeological sites within the parcel and therefore no impacts to historic and cultural resources are anticipated. However, BSA will comply with all state and county laws and rules regarding the preservation of cultural and historic sites should any be discovered in the future. The Camp Alan Faye improvements will promote long-term sustainability and public health, safety, and welfare by providing scouts with continued recreational and personal development opportunities.

- 2) *The proposed land use is consistent with the objectives of the Subzone of the land on which the use will occur.*

The objective of the Resource subzone is to ensure, with proper management, the sustainable use of the natural resources of those areas. The existing 1,100 sq. ft Trading Post structure appears to be over fifty (50) years old; however, lacks the historic significance and does not appear to meet the criteria for listing in the National and Hawai'i Registers of Historic Places. The deconstruction and construction of a larger 2,409 sq. ft Trading Post structure is an identified land use pursuant to HAR, §13-5-22 P-8 STRUCTURES AND LAND USES, EXISTING (D-1) Major alteration of existing structures, facilities, uses, and equipment, or topographical features which are different from the original use or different from what was allowed under the original permit. When county permit(s) are required for the associated plan(s), the department's approval shall also be required.

The Camp Alan Faye property is primarily densely wooded forest with small, cleared areas for the campsites and facilities. The proposed improvements will allow BSA to better operate and manage the camp without altering the existing wooded conditions and will support the continuation of the existing outdoor recreational uses of the camp, which is the intent of the Resource subzone.

- 3) *The proposed land use complies with the provisions and guidelines contained in Chapter 205A, HRS entitled "Coastal Zone Management", where applicable.*

The objectives, policies, and guidelines of the Coastal Zone Management (CZM) program contained in Chapter 205A, Hawai'i Revised Statutes (HRS), are focused on the preservation, protection, and where possible, the restoration of the natural resources of the coastal zone in Hawai'i. Staff believes the proposed project complies with the provisions and guidelines contained in Chapter 205, HRS

regarding Coastal Zone Management. The proposed use would be consistent with Chapter 205A because it would not affect public access to recreational areas, historic resources, scenic and open space resources, coastal ecosystems, economic uses, nor be exposed to coastal hazards.

- 4) *The proposed land use will not cause substantial adverse impact to existing natural resources within the surrounding area, community or region.*

Camp Alan Faye has been at its present site and operating prior to the advent of the Conservation District. The proposed improvements will not substantially change the impervious areas of the camp and will not require the clearing of any vegetation. The Camp Alan Faye improvements are not anticipated to cause adverse impacts to existing natural resources within the surrounding area, community, or region.

During the processing of CDUA KA-3886 it was brought to the applicant's attention by a DOFAW Kaua'i Botanist that endangered trees are on and near the subject property but not within the proposed project site. Upon receiving this information, the applicant has reached out to DOFAW to protect these species. The applicant has stated that they will allow DOFAW access to the trees and will work with DOFAW during construction to ensure their protection.

Other than the endangered trees, no threatened or endangered flora or fauna listed, or proposed for listing, under either the federal or State of Hawai'i endangered species programs were found during a botanical survey of the Camp Alan Faye property. It is within the realm of possibility that federally listed birds and the native Hawaiian hoary bat may use resources within portions of the project area on occasion. The applicant will avoid clearing or cutting woody vegetation taller than 4.6 meters (15-feet), between June 1 and September 15, the bat pupping season and any exterior lighting installed will be dark-sky compliant. In addition, no night-time construction will occur.

- 5) *The proposed land use, including buildings, structures and facilities, shall be compatible with the locality and surrounding areas, appropriate to the physical conditions and capabilities of the specific parcel or parcels.*

The new Trading Post will be built in approximately the same location as the existing structure. There will be no change to the environs near the surrounding properties and will remain compatible with the surrounding areas and appropriate to the physical conditions and capabilities of the property. The improvements will not change the existing characteristics of the property.

The architectural design of the new Trading Post will also comply with State Parks *Design Guidelines for the Historic Kōke'e, Halemanu and Pu'u ka Pele Camp Lots* (June 2012). The proposed timber frame construction of the new Trading Post will relate to the prevalent construction methods of the historic camps and will include siding that replicates the vertical tongue and groove construction method of early

cabins. The new Trading Post incorporates a lanai and large doors to bring the outdoors in, a defining trait of early vernacular cabins.

- 6) *The existing physical and environmental aspects of the land, such as natural beauty and open space characteristics, will be preserved or improved upon, whichever is applicable.*

Surrounded by Waimea Canyon State Park on all sides, the property is surrounded by tall trees and thick vegetation, which prevents any views of the coast below and prevents views of the proposed improvements from Waimea Canyon Drive. The proposed project is not anticipated to affect the existing vegetation and will be in existing cleared areas of the camp. The new Trading Post will be built in the same location as the existing structure and expand into the existing cleared areas surrounding it. Therefore, the project will not impact any existing visual resources.

- 7) *Subdivision of land will not be utilized to increase the intensity of land uses in the Conservation District.*

No subdivision of land is proposed for this project.

- 8) *The proposed land use will not be materially detrimental to the public health, safety and welfare.*

Staff believes the proposed land use will not be materially detrimental to the public health, safety, and welfare as mitigated. Adherence to the BMPs identified in the application, the proposed land use will not result in materially detrimental impacts to public health, safety, and welfare.

CULTURAL IMPACT ANALYSIS

Cultural Surveys Hawai'i prepared an archaeological literature review and field inspection of Camp Alan Faye. The study involved detailed historical, cultural, and archaeological background research and a field inspection of the project area to determine the likelihood that cultural resources/historic properties may be affected by the project and based on findings, consider cultural resource management recommendations. The study did not reveal or identify any known archaeological sites within the parcel. According to the report, beginning in the second half of the nineteenth century and continuing throughout the twentieth century, the traditional Hawaiian landscape of the Waimea Canyon State Park has been altered by the development of the parks and economic ventures, including construction of an irrigation system for sugarcane lands of the Waimea and Mānā plain. This pervasive transformation for park development and for western commercial agriculture and ranching pursuits has obscured much of the physical evidence of traditional Hawaiian life within the area.

Historic and archaeological research has revealed that in traditional Hawaiian times, the uplands of Waimea, including the present state parks (Kōkeʻe and Waimea Canyon state parks), contained habitation sites (both permanent and temporary) and heiau (pre-Contact place of worship) sites. Abundant flora in the upland forests of Kōkeʻe offered supplies of plants gathered for ceremonial and medicinal purposes, and wood for construction of canoes. Hunting practices in the parks area included bird catching and pig hunting. However, no information could be specifically tied to the site and there were no surface historic properties identified within the proposed project area.

With its scouting program at Camp Alan Faye, the Boy Scouts is proud to contribute to the larger cultural context of Kauaʻi. The Boy Scouts have not received requests from Native Hawaiians to access the Camp Alan Faye parcel for cultural purposes; however, access to the parcel is permitted with permission from the Boy Scouts. Occasionally, they receive requests for access from hunters. These requests are granted, and hunters may use the access road with permission of the Boy Scouts.

While there are no known archaeological sites or cultural resources within the Camp Alan Faye parcel, the applicants have stated that they will comply with all state and county laws and rules regarding the preservation of cultural and historic sites should any be discovered in the future.

DISCUSSION

The proposed project entails the deconstruction of the existing 1,100 sq. ft Trading Post structure and the construction of a new 2,409 sq. ft Trading Post structure. As mentioned above, the existing Trading Post structure is an open-air structure that contains an office, workspace, storage, and has been used for various merit badge activities. It has aged and incurred damage in recent winters from fallen tree debris. The applicants plan to demolish the existing Trading Post structure by deconstructing and recycling as much of the materials as possible.

The new Trading Post structure will be built in the same location and will be the same single-story, open pavilion type structure. It will have an approximate structural footprint of 2,409 sq. ft and contain storage, ADA restrooms, a preparation room, maintenance closet, and office space. The new Trading Post structure will be connected to the existing water and individual wastewater systems.

All construction activities will follow Best Management Practices to mitigate impacts of soil erosion, sedimentation, and avoid impacts to endangered or rare native birds and the Hawaiian hoary bat.

Based on the information provided, staff believes that the project will have negligible adverse environmental or ecological effects provided that best management practices and mitigation measures as described in the application, and as required by rule or laws, are fully implemented.

RECOMMENDATION

Based on the preceding analysis, staff recommends that the Board of Land and Natural Resources APPROVE Conservation District Use Application KA-3886 for the for the Boy Scouts of America Aloha Council Camp Ala Faye Improvements Project – Replacement of the Existing Trading Post located near Kauhoa Road, Nāpili-Kona & Pu‘ukapele Forest Reserve, Waimea, Kaua‘i, TMK: (4) 1-4-001:015 subject to the following conditions:

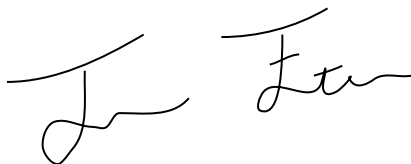
1. The permittee shall comply with all applicable statutes, ordinances, rules, and regulations of the federal, state, and county governments, and applicable parts of HAR Chapter 13-5;
2. The permittee, its successors and assigns, shall indemnify and hold the State of Hawai‘i harmless from and against any loss, liability, claim, or demand for property damage, personal injury, and death arising out of any act or omission of the applicant, its successors, assigns, officers, employees, contractors, and agents under this permit or relating to or connected with the granting of this permit;
3. The permittee shall comply with all applicable Department of Health administrative rules;
4. The permittee shall provide documentation (e.g., book and page or document number) that the permit approval has been placed in recordable form as a part of the deed instrument, prior to submission for approval of subsequent construction plans;
5. Before proceeding with any work authorized by the department or the board, the permittee shall submit four copies of the construction plans and specifications to the chairperson or an authorized representative for approval for consistency with the conditions of the permit and the declarations set forth in the permit application. Three of the copies will be returned to the permittee. Plan approval by the chairperson does not constitute approval required from other agencies;
6. Unless otherwise authorized, any work or construction to be done on the land shall be initiated within one (1) year of the approval of such use, in accordance with construction plans that have been signed by the chairperson or an authorized representative, and shall be completed within three (3) years of the approval of such use. The permittee shall notify the department in writing when construction activity is initiated and when it is completed;
7. All representations relative to mitigation set forth in the accepted application for the proposed use are incorporated as conditions of the permit;

8. The permittee shall plan to minimize the amount of dust generating materials and activities. Material transfer points and on-site vehicular traffic routes shall be centralized. Dusty equipment shall be located in areas of least impact. Dust control measures shall be provided during weekends, after hours and prior to daily start-up of project activities. Dust from debris being hauled away from the project site shall be controlled. Landscaping and dust control of cleared areas will be initiated promptly;
9. Should historic remains such as artifacts, burials or concentration of charcoal be encountered during construction activities, work shall cease immediately in the vicinity of the find, and the find shall be protected from further damage. The contractor shall immediately contact SHPD ((808) 692-8015), which will assess the significance of the find and recommend an appropriate mitigation measure, if necessary;
10. The permittee shall utilize Best Management Practices for the proposed project;
11. During construction, appropriate mitigation measures shall be implemented to minimize impacts to the aquatic environment, off-site roadways, utilities, and public facilities;
12. The permittee understands and agrees that the permit does not convey any vested right(s) or exclusive privilege;
13. In issuing the permit, the department and board have relied on the information and data that the permittee has provided in connection with the permit application. If, subsequent to the issuance of the permit such information and data prove to be false, incomplete, or inaccurate, this permit may be modified, suspended, or revoked, in whole or in part, and the department may, in addition, institute appropriate legal proceedings;
14. When provided or required, potable water supply and sanitation facilities shall have the approval of the department of health and the county department of water supply;
15. Where any interference, nuisance, or harm may be caused, or hazard established by the use, the permittee shall be required to take measures to minimize or eliminate the interference, nuisance, harm, or hazard;
16. Obstruction of public roads, trails, and pathways shall be avoided or minimized. If obstruction is unavoidable, the permittee shall provide alternative roads, trails, or pathways acceptable to the department;
17. During construction, appropriate mitigation measures shall be implemented to minimize impacts to off-site roadways, utilities, and public facilities;

18. The permittee shall obtain a county building or grading permit or both for the use prior to final construction plan approval by the department;
19. Artificial light from exterior lighting fixtures, including but not limited to floodlights, uplights, or spotlights used for decorative or aesthetic purposes, shall be prohibited if the light directly illuminates or is directed to project across property boundaries toward the shoreline and ocean waters, except as may be permitted pursuant to section 205A-71, HRS. All exterior lighting shall be shielded to protect the night sky;
20. The permittee acknowledges that the approved work shall not hamper, impede, or otherwise limit the exercise of traditional, customary, or religious practices of native Hawaiians in the immediate area, to the extent the practices are provided for by the Constitution of the State of Hawai'i, and by Hawai'i statutory and case law;
21. Any landscaping shall be appropriate to the site location and shall give preference to plant materials that are endemic or indigenous to Hawai'i. The introduction of invasive plant species is prohibited;
22. Trees taller than 15 feet shall not be removed or trimmed during the Hawai'i Hoary bat birthing and pup rearing season from June 1st to September 15th;
23. The use of barbed wire is prohibited;
24. Rapid 'Ohi'a Protocol shall be observed. Tools, shoes, clothing, gear and equipment shall be cleaned using appropriate methods. Damage to any ohia trees shall be dealt with by using recommended measures. The transportation of 'ohi'a trees or plant materials is prohibited;
25. The permittee shall minimize the movement of plant or soil material between worksites. Soil and plant material may contain pathogens, pests such as Little Fire ants and/or Coconut Rhinoceros beetles, or invasive plant parts that could harm native species or ecosystems. All equipment, materials, and personnel should be cleaned of excess soil and debris to minimize the risk of spreading invasive species;
26. If land clearing occurs between March 1 and September 30, a pre-construction hawk nest search by a qualified ornithologist using standard methods will be conducted. If Hawaiian Hawks are present, no land clearing will be allowed until October, when hawk nestlings will have fledged;
27. Other terms and conditions as may be prescribed by the Chairperson; and

28. Failure to comply with any of these conditions shall render this Conservation District Use Permit void under Chapter 13-5, as determined by the chairperson or board.

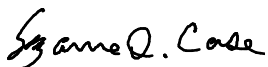
Respectfully submitted,

A handwritten signature in black ink, appearing to read 'Trevor Fitzpatrick', written in a cursive style.

Trevor Fitzpatrick, Staff Planner
Office of Conservation and Coastal Lands

mc

Approved for submittal:

A handwritten signature in black ink, appearing to read 'Suzanne D. Case', written in a cursive style.

SUZANNE D. CASE., Chairperson
Board of Land and Natural Resources

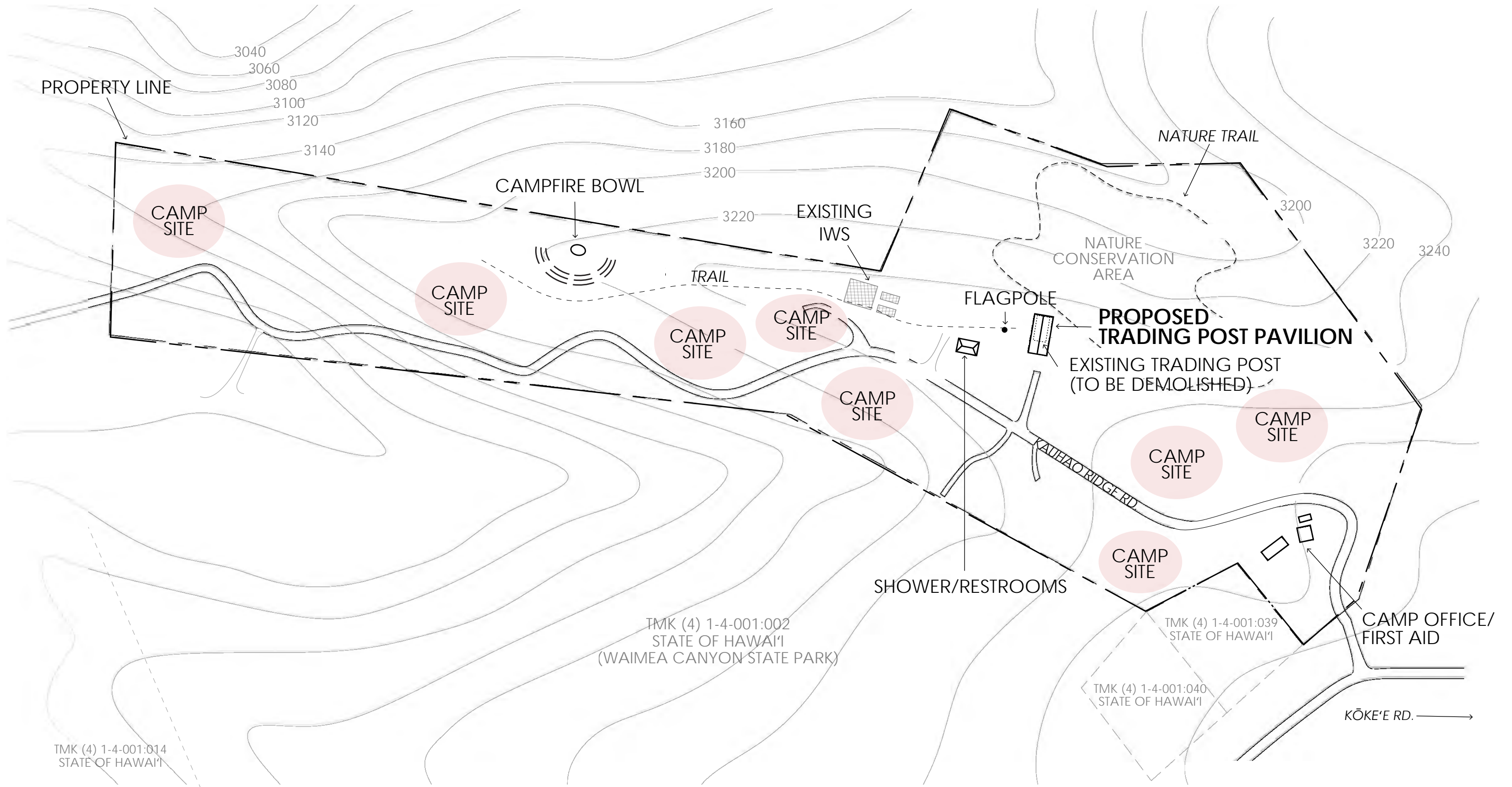
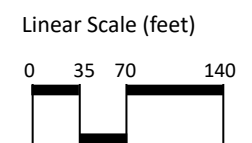
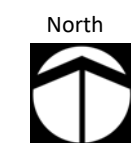


Exhibit 1

Site Plan-Revised
Scout Camp Alan Faye

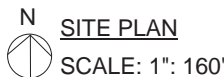
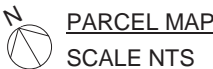
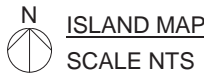
BSA Aloha Council

Kaua'i



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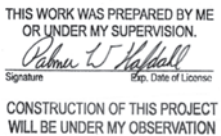
Scout Camp Allen Faye, Waimea, HI 96796
TMK #: (4) 1-4-001:015



1. BEST MANAGEMENT PRACTICES (BMP) ARE TO BE FOLLOWED. ALL EXISTING STORM WATER RUNOFF VOLUMES AND FLOW PATTERNS SHALL BE MAINTAINED AND SUBJECT TO BMP. BMP SHALL BE IMPLEMENTED AT THE POINTS TO THE MAXIMUM EXTENT PRACTICABLE TO PREVENT DAMAGE BY SEDIMENTATION, EROSION, DUST AND STREAMS, WATERCOURSE, NATURAL AREAS AND THE PROPERTY OF OTHERS.
2. EROSION CONTROL MEASURES SHALL BE INSTALLED BEFORE DEMOLITION AND MAINTAINED UNTIL COMPLETION OF GRADING PHASE
3. THE SILT FENCE SHALL BE INSTALLED BEFORE ANY CONSTRUCTION OPERATIONS AND SHALL BE MAINTAINED UNTIL COMPLETION OF CONSTRUCTION ACTIVITIES.

4. THE FINAL LIFT OF EACH DAYS WORK SHALL BE COMPACTED TO PREVENT EROSION OF FILL MATERIALS
5. THE CONTRACTOR SHALL DISPOSE OF VEGETATION, HYDRAULIC OILS, OFF-SITE.
6. NO OIL OR FUEL SHALL BE STORED ON-SITE.
7. ALL EQUIPMENT SHALL BE SERVICED IN A CONFINED AREA AND ALL FLUIDS SHALL DRAIN INTO PANS FOR HANDLING.
8. GRASS ALL EXPOSED GRADED AREAS IMMEDIATELY AFTER GRADING WORK IS COMPLETED

1. ALL WORK SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE, 2006 EDITION, AS AMENDED BY THE LOCAL ORDINANCE AND ALL APPLICABLE BUILDING CODES AND ORDINANCE 929. IN CASE OF ANY CONFLICT WHEREIN THE METHODS OR STANDARDS OF INSTALLATION OR THE MATERIALS SPECIFIED DO NOT EQUAL OR EXCEED THE REQUIREMENTS OF THE LAWS OR ORDINANCES, THE LAWS OR ORDINANCES SHALL GOVERN. NOTIFY THE ARCHITECT OF ALL CONFLICTS PRIOR TO PERFORMING WORK.
2. CONFLICT: IN THE CASE OF ANY CONFLICT WHEREIN THE METHODS, OR STANDARDS OF INSTALLATION, OR THE SPECIFIED MATERIALS ARE NOT EQUAL TO, OR EXCEED THE REQUIREMENTS OF THE LAWS OR ORDINANCES, THE LAWS OR ORDINANCES SHALL GOVERN. IN THE CASE OF A DISCREPANCY IN THE DRAWINGS OR SPECIFICATIONS, BUT NOT DIRECTLY RELATED TO THE PROVISIONS OF CODES, OR ORDINANCES, THE CONTRACTOR SHALL 1) PROVIDE THE BETTER QUALITY, OR GREATER QUANTITY OF WORK, OR 2) COMPLY WITH THE MORE STRINGENT REQUIREMENT IN ACCORDANCE WITH THE ARCHITECT'S INTERPRETATION. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY AND ALL CONFLICTS.
3. CONDITIONS OF THE WORK: THE INFORMATION INDICATED ON THE DRAWINGS ARE BASED ON THE LIMITED FIELD INVESTIGATIONS AND ON THE AVAILABLE RESOURCES AT THE TIME OF DOCUMENT PREPARATION. AS A RESULT, THE ACCURACY AND COMPLETENESS OF THE INFORMATION IS NOT GUARANTEED. THE CONTRACTOR SHALL, THEREFORE, VERIFY THE DIMENSIONS SHOWN ON THE DRAWINGS WITH ACTUAL FIELD MEASUREMENTS, EXAMINE THE JOBSITE, VERIFY ALL FIELD CONDITIONS AND PROVIDE THE LABOR AND MATERIALS REQUIRED TO COMPLETE THE INTENDED WORK. ALL WORK SHALL BE PERFORMED IN A PROFESSIONAL MANNER THAT IS OF ACCEPTABLE WORKMANSHIP OF THE RESPECTIVE TRADES. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, PRIOR TO THE COMMENCEMENT OF WORK, IF THERE ARE ANY DIMENSIONAL DISCREPANCIES, OR IF THERE ARE ANY CONDITIONS THAT EXIST WHICH MAY PREVENT THE CONTRACTOR'S PERFORMANCE OF THE WORK, AND/OR OF ANY AND ALL ADDITIONAL WORK THAT MAY BE REQUIRED AS A RESULT OF THE OBSERVED CONDITIONS.
4. ERRORS AND OMISSIONS: ERRORS OR OMISSIONS OF THE DRAWINGS, OR SPECIFICATIONS, OR THE OMISSIONS OF DETAILS OF WORK WHICH ARE OBVIOUSLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH ARE CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED, OR INCORRECTLY DESCRIBED DETAILS OF THE WORK, BUT SHALL BE PERFORMED AS IF FULLY AND CORRECTLY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT VERBALLY OF SUCH OMISSIONS AND SUBMIT A WRITTEN STATEMENT OF THE OMISSIONS WITHIN FIVE (5) WORKING DAYS OF VERBAL NOTIFICATION.
5. INTENT OF THE DRAWINGS: THE DRAWINGS ARE INTENDED TO DEFINE AND ESTABLISH THE PHYSICAL REQUIREMENTS OF THE PROJECT, IE., THE DESIGN, LOCATION, AND DIMENSIONS OF THE WORK, BASED ON RECOGNIZED STANDARDS, EVEN IF NOT ACTUALLY SHOWN, BUT REASONABLY INFERRED. ALL WORK SHOWN IS "NEW" UNLESS OTHERWISE NOTED AS "EXISTING". THE CONTRACTOR SHALL REVIEW AND VERIFY THE INFORMATION ON ALL DRAWINGS BEFORE PERFORMING THE WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL SUBCONTRACTOR/TRADES TO ACHIEVE THE DESIGN INTENT AND SPECIFIED REQUIREMENTS AND IS RESPONSIBLE TO COMPLETE ANY AND ALL WORK ASSOCIATED WITH SUCH COORDINATION.
6. COMPLETION OF THE WORK: THE CONTRACTOR SHALL IN THE WORK OF ALL TRADES, PERFORM ANY AND ALL CUTTING, PATCHING, REPAIRING, RESTORING, RELOCATING AND THE LIKE NECESSARY TO COMPLETE THE WORK AND RESTORE ANY DAMAGED OR AFFECTED SURFACES RESULTING FROM THE WORK OF THIS CONTRACT TO THEIR ORIGINAL OR INTENDED CONDITION TO THE SATISFACTION OF THE ARCHITECT AND THE OWNER. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO SAFETY PRECAUTIONS.
7. PERMITS AND FEES: THE CONTRACTOR IS RESPONSIBLE TO OBTAIN AND PAY FOR ALL PERMITS, INSPECTIONS AND LICENSES FOR THE WORK AND OBTAIN ALL GOVERNMENTAL AGENCY CERTIFICATES AND FILE A NOTICE OF COMPLETION.
8. GUARANTEE: THE CONTRACTOR SHALL GUARANTEE THE INSTALLATION, MATERIALS AND WORKMANSHIP OF ALL WORK FOR (1) ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. HOWEVER, PRODUCT AND SYSTEM WARRANTIES SHALL BE EFFECTIVE FROM THE "DATE OF ACCEPTANCE" BY THE OWNER/ARCHITECT AND FOR THE PERIOD ESTABLISHED BY THE MANUFACTURER/INSTALLER, OR AS SPECIFICALLY DEFINED IN THE OWNER/CONTRACTOR AGREEMENT.
9. CLEAN UP: THE CONTRACTOR SHALL CLEAN AND REMOVE ANY TRASH, DIRT, DEBRIS AND SPILLAGE ARISING FROM THE WORK DAILY TO THE SATISFACTION OF THE OWNER AND THE ARCHITECT, INCLUDING: CLEANING OF DIRT, DUST, PAINT, PUTTY, ETC., FROM AREAS SUCH AS COUNTER TOPS, DOOR AND WINDOW FACES AND FRAMES, TRIM WORK, APPLIANCES, ETC.
10. RECORD DRAWINGS: THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A SET OF "AS-BUILT" DRAWINGS OF THE WORK.
11. DIMENSIONS: UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DOCUMENTS, ALL DIMENSIONS ARE TAKEN TO THE FACE OF EXISTING STRUCTURE, OR FACE OF CONSTRUCTION.
12. ALL WORK UNDER THE VARIOUS SECTIONS OF THIS CONTRACT IS SUBJECT TO THE GENERAL CONDITIONS OF THE CONTRACT, AS MODIFIED, IN ADDITION TO THE GENERAL CONDITIONS OF THE CONTRACT, THE REQUIREMENTS OF THESE DRAWINGS ARE OF THE UTMOST IMPORTANCE AND WILL BE STRICTLY ENFORCED. THE CONTRACTOR AND ALL SUBCONTRACTORS ARE BOUND BY THE REQUIREMENTS OF THESE SECTIONS AND ALL BIDS SHALL BE BASED ON A THOROUGH KNOWLEDGE OF THESE REQUIREMENTS. ENTERING INTO THE CONTRACT WILL BE TAKEN AS EVIDENCE OF THIS KNOWLEDGE
13. SAFETY MEASURES: AT ALL TIMES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOBSITE INCLUDING SAFETY OF THE PERSONS AND PROPERTY, AND FOR ALL INDEPENDENT ENGINEERING REVIEWS OF THESE CONDITIONS. THE ENGINEER'S JOB SITE VISITS ARE NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
14. CONTRACTOR TO NOTIFY AND SCHEDULE ALL INSPECTIONS REQUIRED BY LOCAL AUTHORITIES.
15. DETAILS ARE NOT INTENDED TO SHOW METHOD AND MANNER OF ACCOMPLISHING WORK. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT THE JOB DIMENSIONS OR CONDITIONS AND WILL BE INCLUDED AS PART OF THE WORK SUBJECT TO APPROVAL OF THE ARCHITECT.
16. CONTRACTOR TO BE RESPONSIBLE FOR ALL COORDINATION AND VERIFICATION OF EXISTING SITE AND BUILDING CONDITIONS.
17. VERIFY ALL EXISTING CONDITIONS AND PROPOSED DIMENSIONS AT THE JOB SITE. DO NOT SCALE DRAWINGS.
18. ALL DIMENSIONS ARE TO GRID LINE, FACE OF STUD, FACE OF CONCRETE WALL, CENTERLINE OF COLUMN, OR OTHER SUCH OBVIOUS INDICATORS. UNDO, DOOR AND WINDOW DIMENSIONS ARE ROUGH-OPENING DIMENSIONS UNLESS NOTED OTHERWISE.
19. CONTRACTOR NOT TO SCALE DRAWINGS FOR MEASUREMENT PURPOSES. CONTACT ARCHITECT FOR ANY DIMENSION CLARIFICATIONS.
20. CONSIDER GENERAL NOTES AS APPLYING TO ALL DRAWINGS.
21. CONTRACTOR TO COORDINATE ALL REQUIREMENTS FOR MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS AS WELL AS OTHER TRADES.
22. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION AND COORDINATION WITH OTHER CONTRACTORS TO ASSURE COMPLIANCE WITH DRAWINGS AND SPECIFICATIONS, AND THE ACCURATE LOCATION OF STRUCTURAL MEMBERS AND OPENINGS FOR MECHANICAL, ELECTRICAL, AND MISCELLANEOUS EQUIPMENT.

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Project status	Permit Se
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Project status	Permit Se
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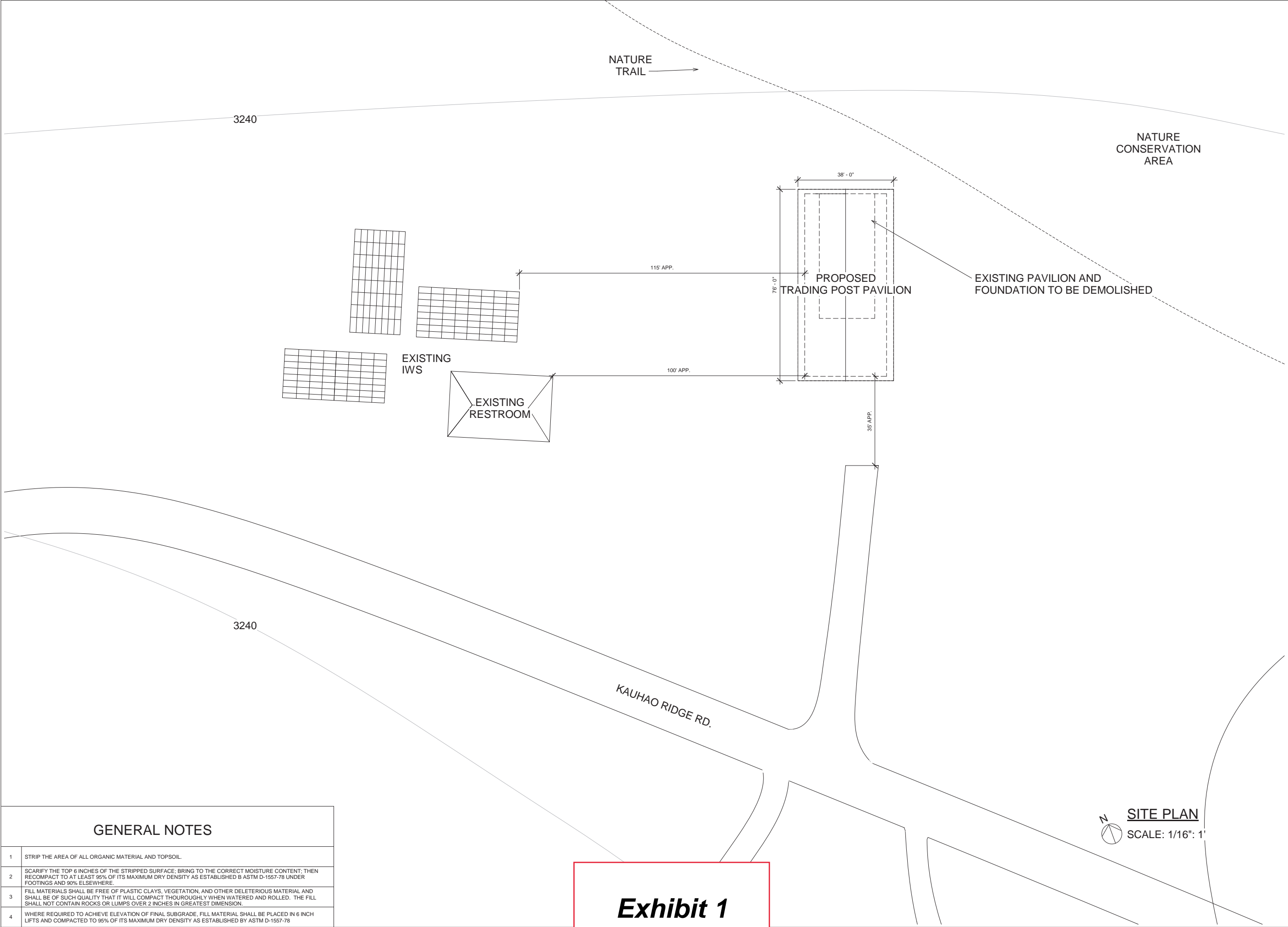
Drawn by	CM
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Checked by	PI
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Scale | "

CODE ANALYSIS		SCOPE OF WORK	BUILDING AREA / LOT COVERAGE	DRAWING INDEX
CODE DATA CODE EDITIONS: 2006 INTERNATIONAL BUILDING CODE TITLE V, CHAPTER 12 COK, ORDINANCE 929 2015 IECC 2006 INTERNATIONAL RESIDENTIAL CODE 2012 NFPA 1 WITH AMMENDMENTS 2012 UNIFORM PLUMBING CODE 2017 NATIONAL ELECTRIC CODE	JURISDICTION: COUNTY OF KAUAI, HAWAII CURRENT ZONING : OP STATE LAND USE: CONSERVATION OCCUPANCY CLASSIFICATION: A-3 (1275 S.F.), B (651 S.F.) TYPE OF CONSTRUCTION: TYPE V-B FIRE SPRINKLERS: NO	THIS PROJECT INCLUDES THE REMOVAL OF EXISTING HALL AND THE ADDITION OF A NEW DINING HALL, TWO RESTROOMS, AND PREPARATION SPACE AT THE SCOUT CAMP ALLEN FAYE IN KOKEE.	HALL OTHER STRUCTURES TOTAL LOT AREA TOTAL LOT COVERAGE	2,300 SQUARE FEET 3,066 SQUARE FEET 29 ACRES OR 827,640 SQUARE FEET 5366 SQUARE FEET 0.65%
OCCUPANT LOAD (TABLE 10-A) = 185 total 185 MAX. PER SEC. 1007.2.6 OCCUPANT LOAD - O.L., FACTOR (TABLE 10-A) ONE OCCUPANT PER 7 S.F. LECTURE HALL @ 1275 = 180 ONE OCCUPANT PER 300 S.F. STORAGE @ 178 = 1 ONE OCCUPANT PER 100 S.F. PREP/LAB, TRADING POST @ 473 = 4 SECOND EXIT REQUIRED, MORE THAN 50 OCCUPANTS, PROVIDED.	EGRESS - EXITS 36" MIN. (1005.1) DOOR WIDTH 36" MIN. PANIC HARDWARE REQUIRED (50 OR GREATER/ROOM) REF.1003.7.10 DOOR SWING OUTWARD. (1008.1.2) LOCK OR LATCH TO OPEN FROM INSIDE PER 1008.1.8.3, 2.2. FLOOR LEVEL @ 1008.1.6 MEANS OF EGRESS SHALL BE ILLUMINATED AT 1 FT. CANDLE. (1006.2)	<div style="border: 2px solid red; padding: 20px; text-align: center;"> <h1>Exhibit 1</h1> </div>		
<div style="display: flex; justify-content: space-between;"> <div> Scout Camp Allen Faye, Waimea, HI 96796 </div> <div> <div style="border: 1px solid black; padding: 10px; text-align: center;"> <h2>Cover Sheet</h2> </div> <div style="display: flex; justify-content: space-between;"> <div> Project status Date Drawn by Checked by </div> <div> Permit Set 10/2/2020 CM PH </div> </div> <div style="display: flex; justify-content: space-between; align-items: center;"> <div style="border: 1px solid black; padding: 10px;"> <div style="font-size: 2em; font-weight: bold;">Ocs</div> <div style="font-size: 1.5em; font-weight: bold;">K-1</div> </div> <div> Scale 1" = </div> </div> </div> </div>				



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CAMP ALLEN FAYE
TRADING POST
PAVILION

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Site Plan

Project status	Permit Set
Date	10/2/2020
Drawn by	CM
Checked by	PH

AOI K-1

Scale 1/

Existing Trading Post

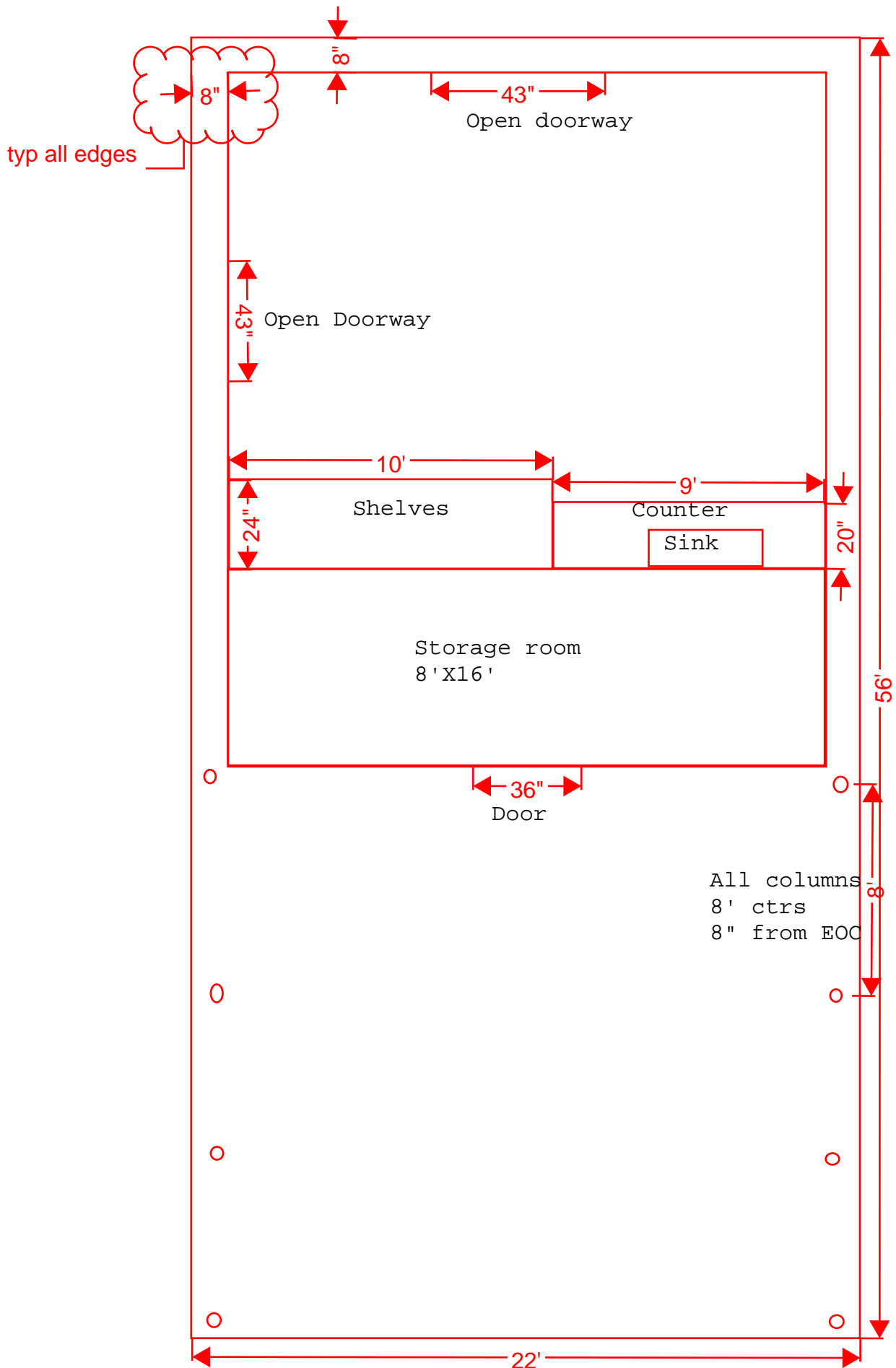


Exhibit 1

K-1



Exhibit 1

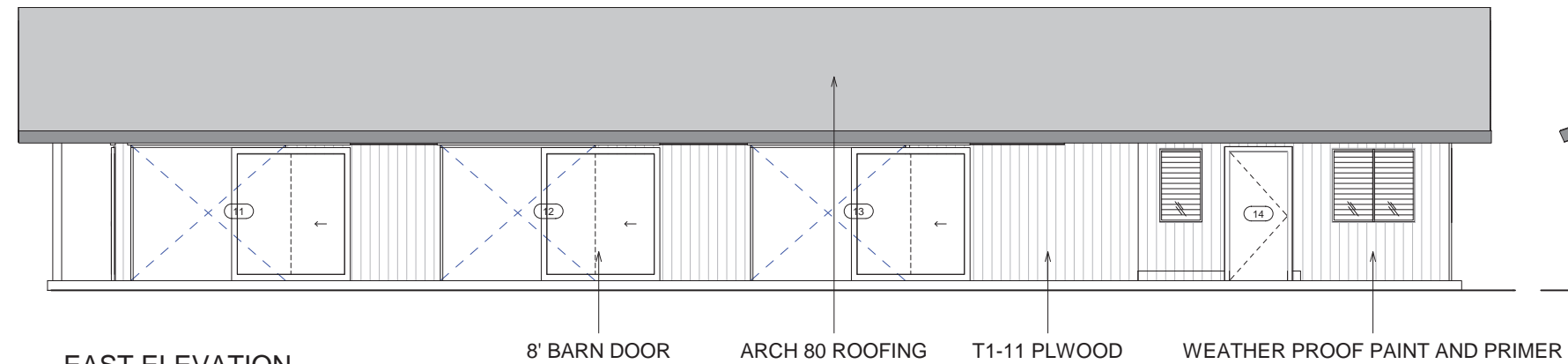
Figure 3
Existing Trading Post Photos
Scout Camp Alan Faye

BSA Aloha Council

Kaua'i

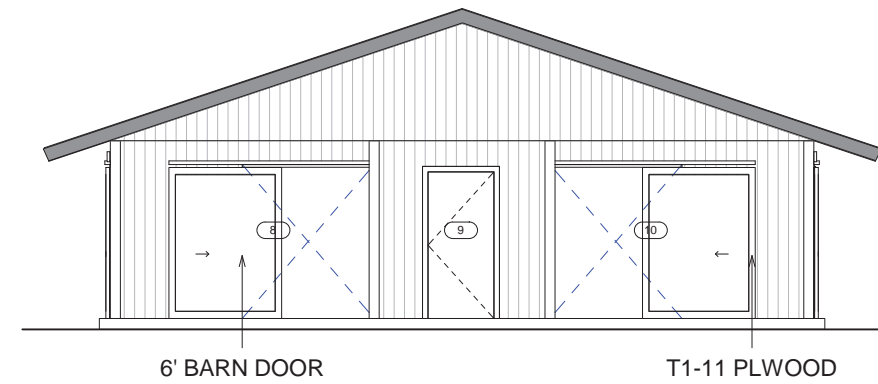


K-1



EAST ELEVATION

SCALE: 1/4" : 1"

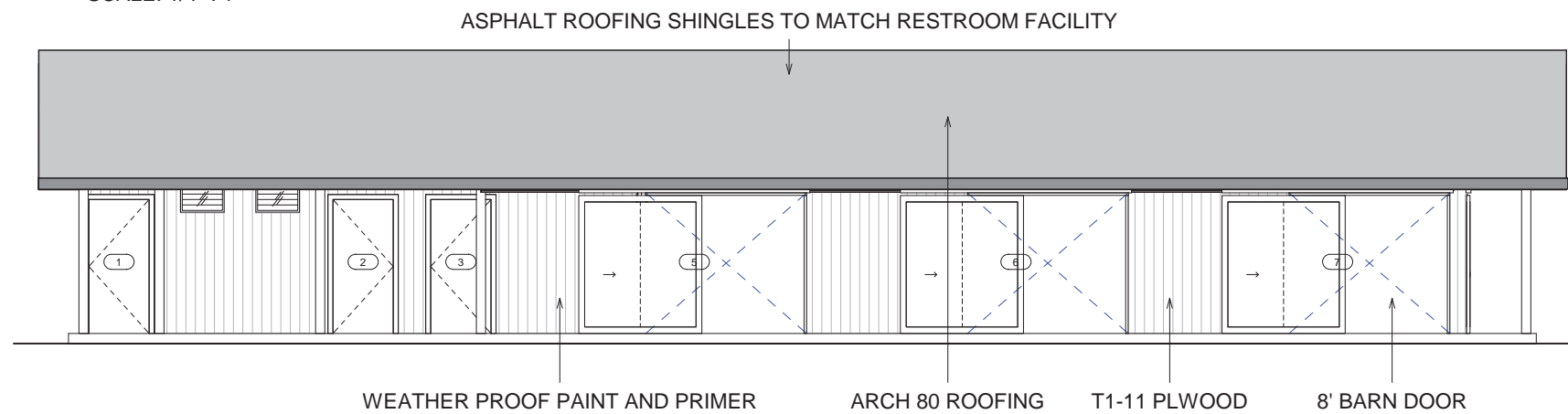


6' BARN DOOR

T1-11 PLWOOD

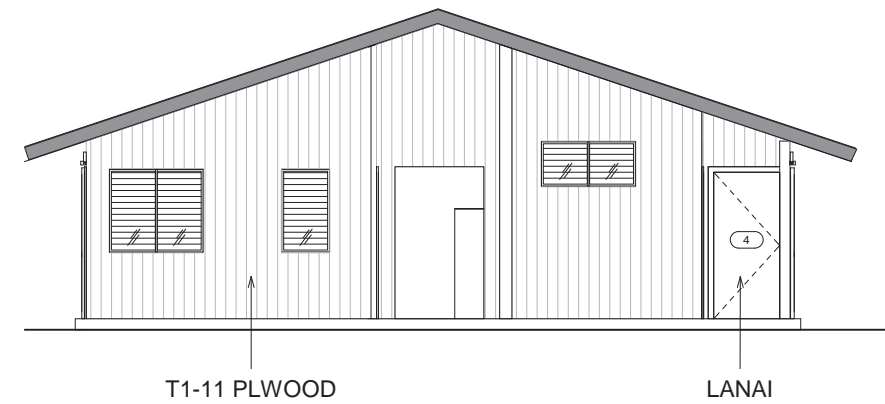
SOUTH ELEVATION

SCALE: 1/4" : 1"



WEST ELEVATION

SCALE: 1/4" : 1"

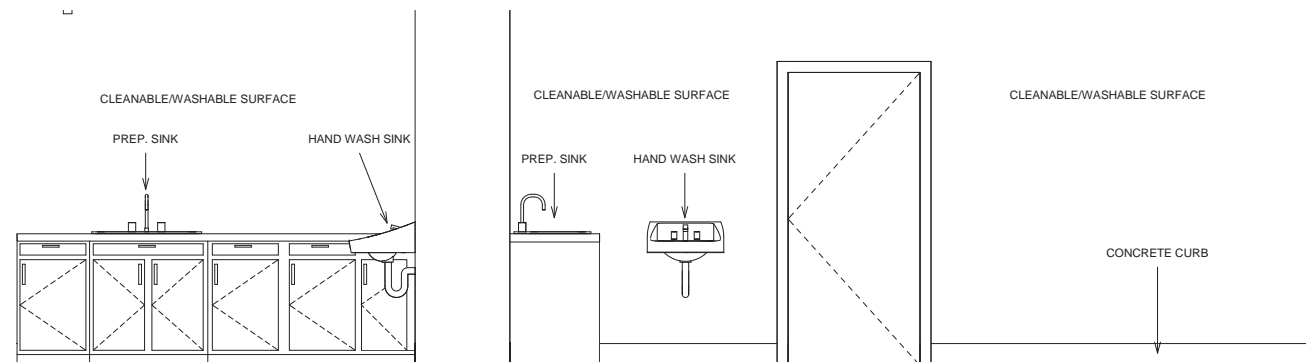


T1-11 PLWOOD

LANAI

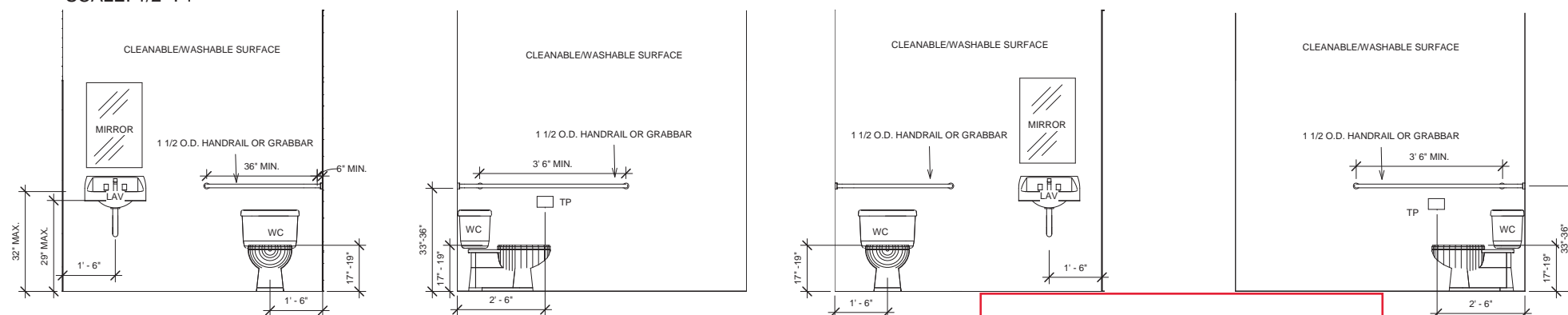
NORTH ELEVATION

SCALE: 1/4" : 1"



PREPARATION ROOM ELEVATIONS

SCALE: 1/2" : 1"



ADA RESTROOM ELEVATIONS

SCALE: 1/2" : 1"

Exhibit 1



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Waimea, HI 96796

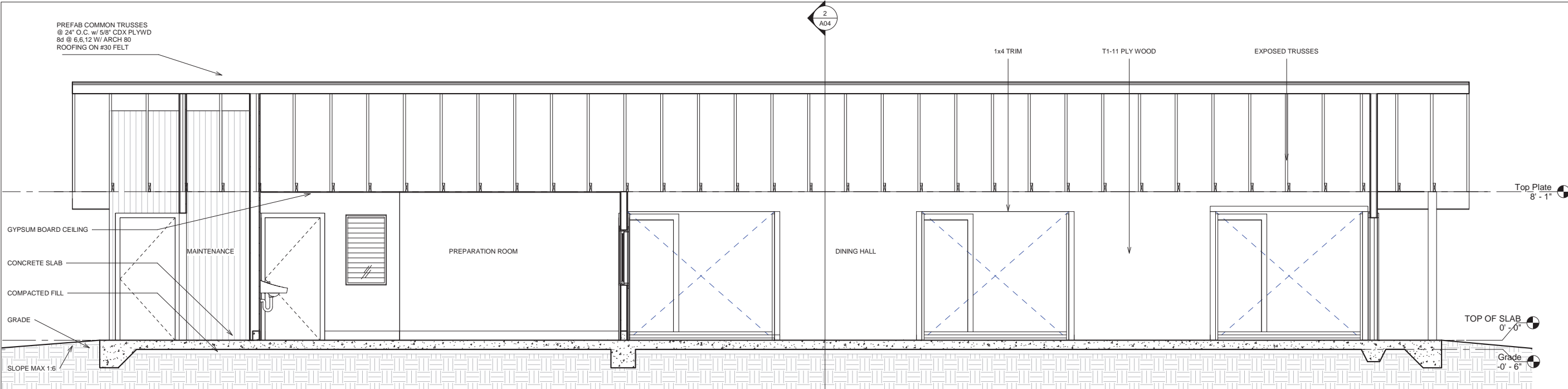
Elevations

Project status	Permit Set
Date	10/2/2020
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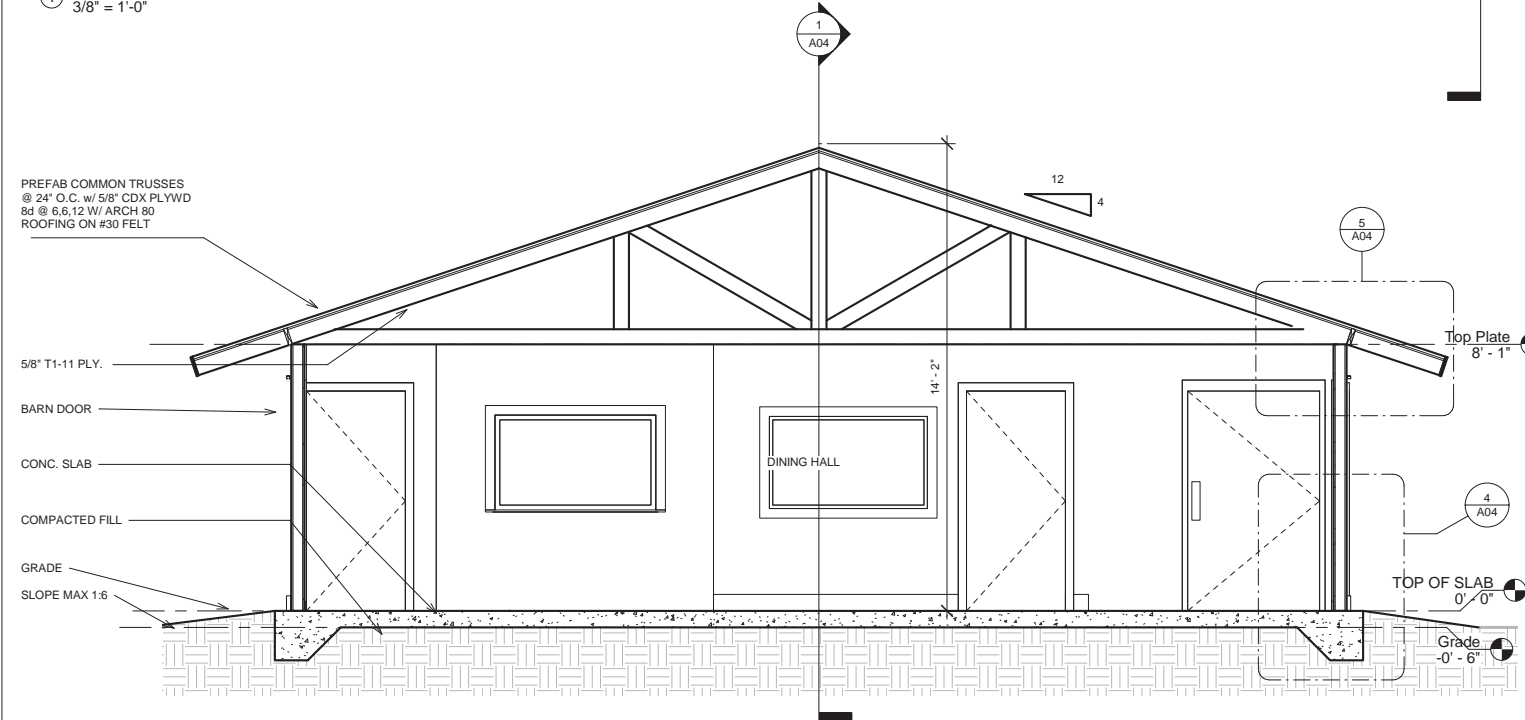
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Scale	As indicated
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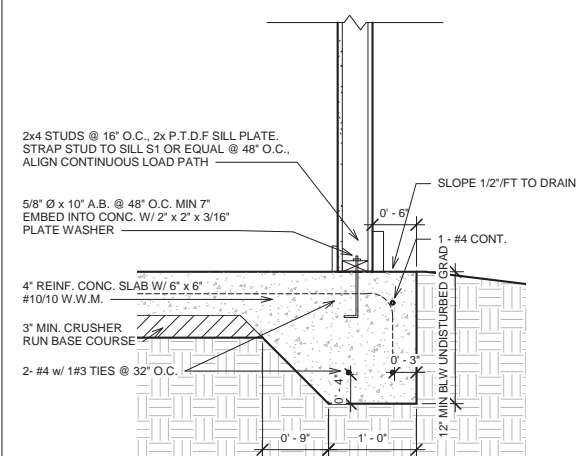
K-1



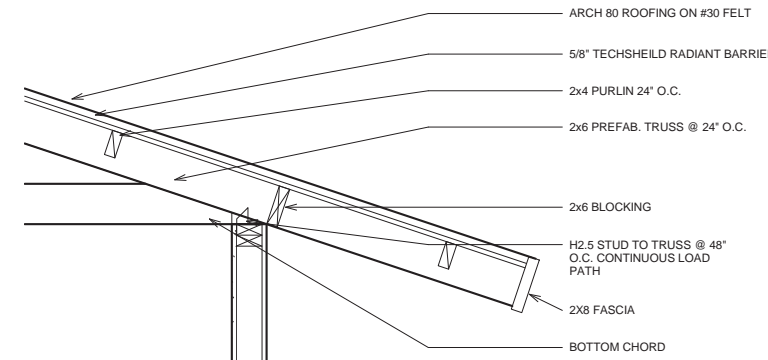
1 CROSS SECTION A
3/8" = 1'-0"



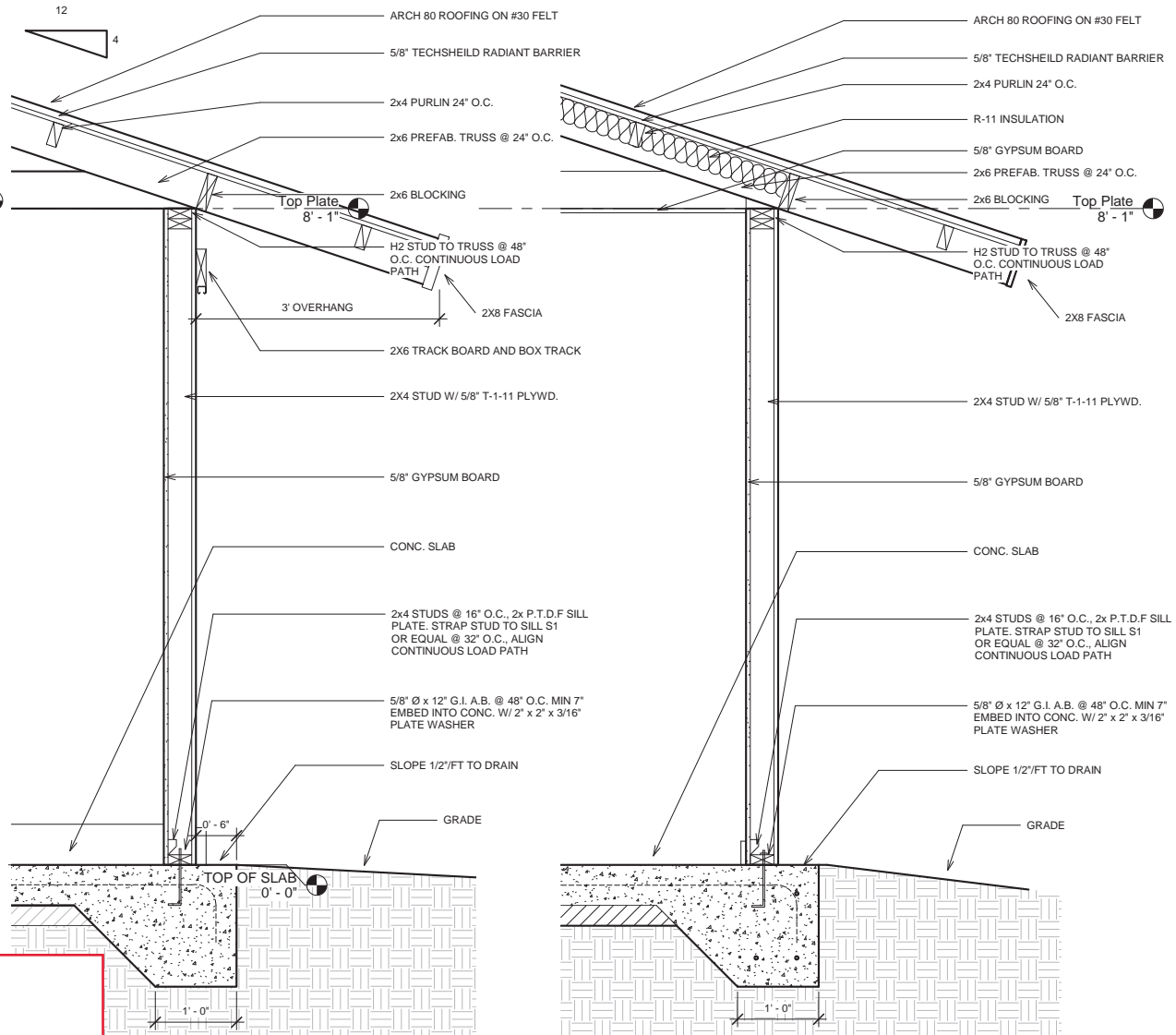
2 CROSS SECTION B
3/8" = 1'-0"



4 FOUNDATION DETAIL
1" = 1'-0"



5 FRAMING DETAIL
1" = 1'-0"



3 STANDARD WALL PREP ROOM
1" = 1'-0"



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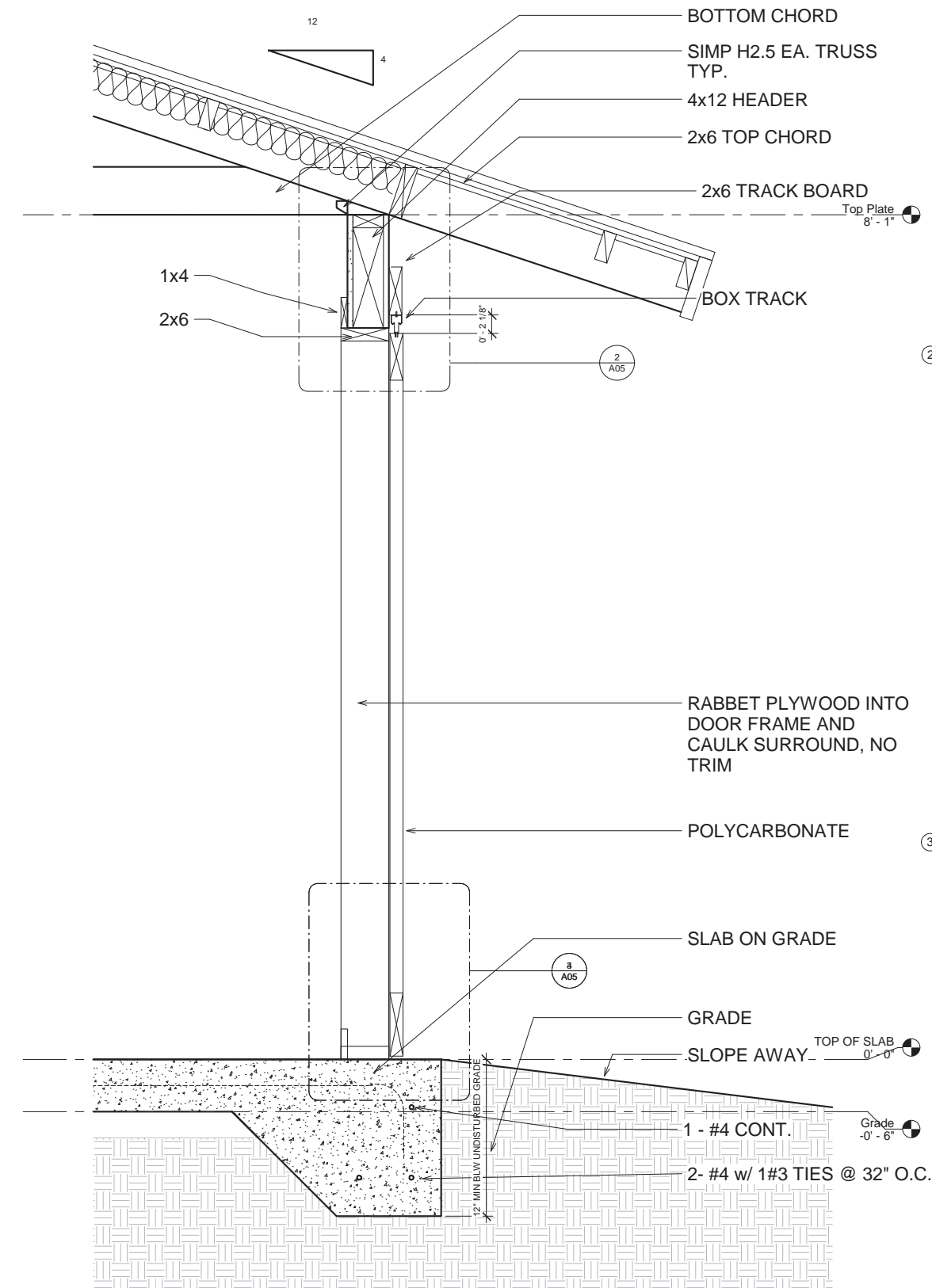
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Detail Views

Project status	Permit Set
Date	10/2/2020
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Checked by	PH

A04

K-1

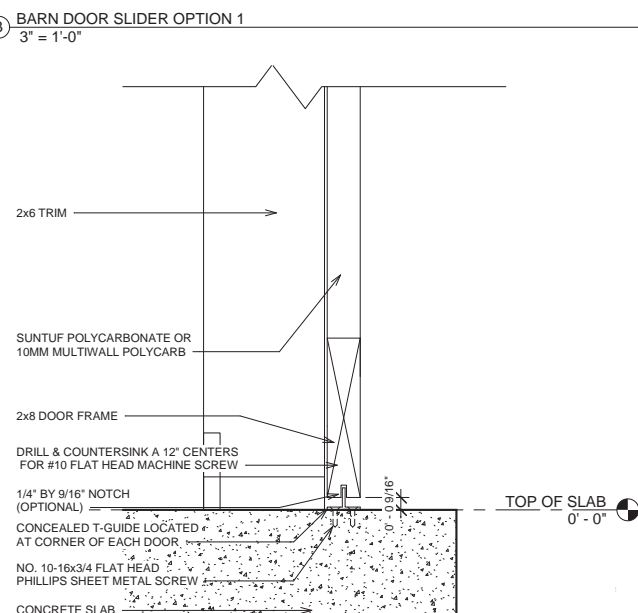
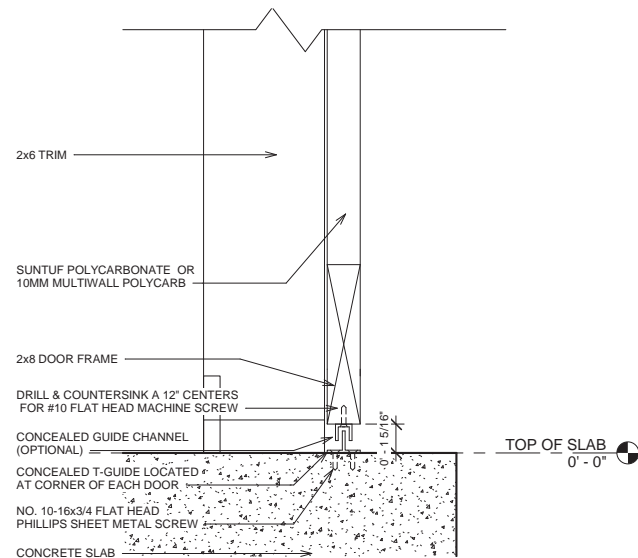
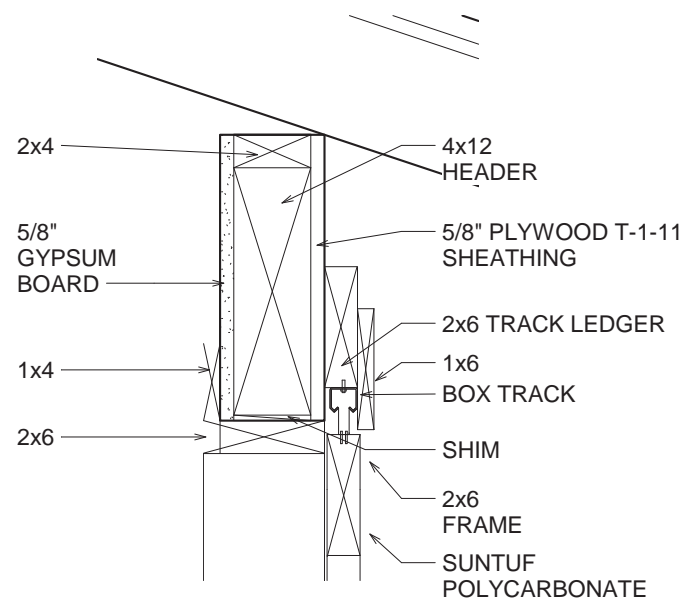


1 BARN DOOR
1 1/2" = 1'-0"

2 BARN DOOR DETAIL
3" = 1'-0"

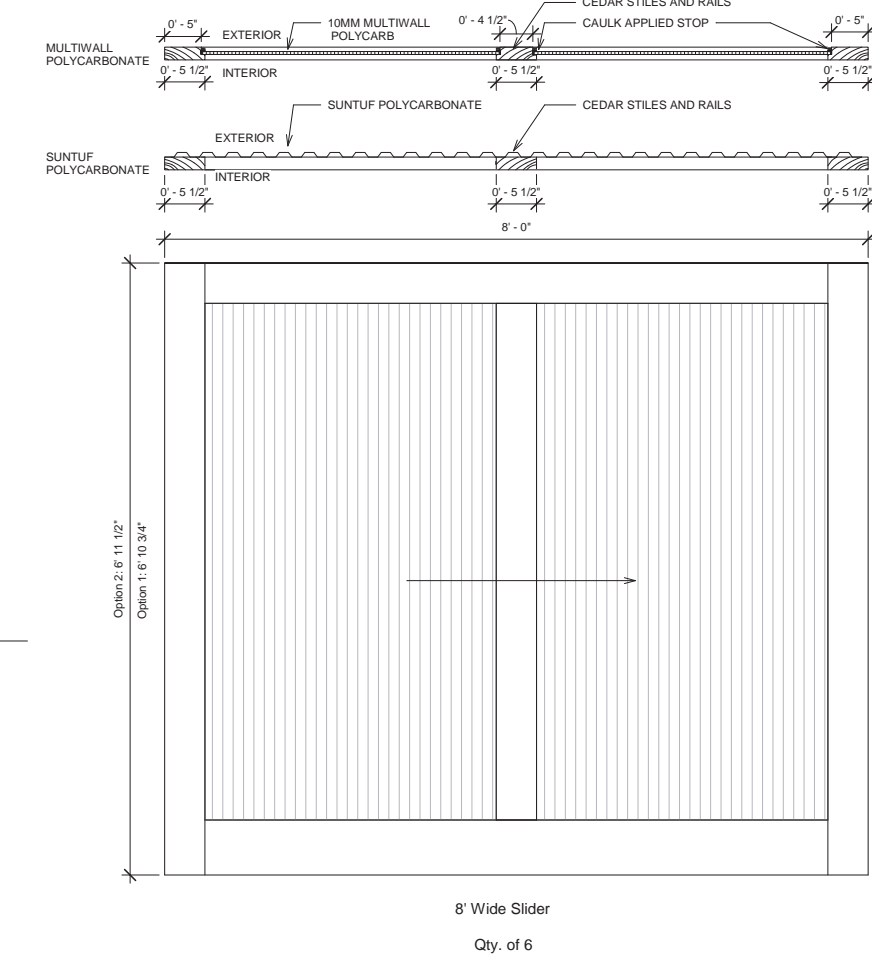
3 BARN DOOR SLIDER OPTION 1
3" = 1'-0"

4 BARN DOOR
3" = 1'-0"

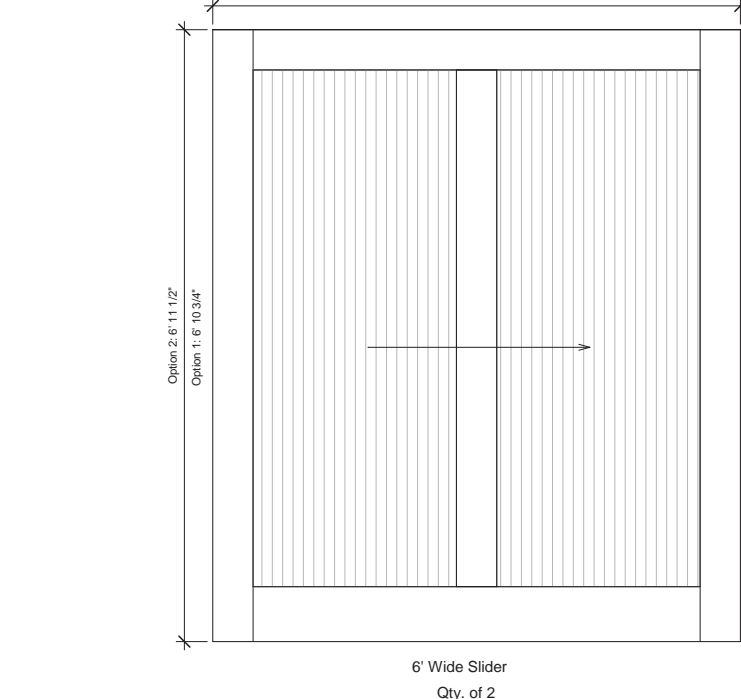
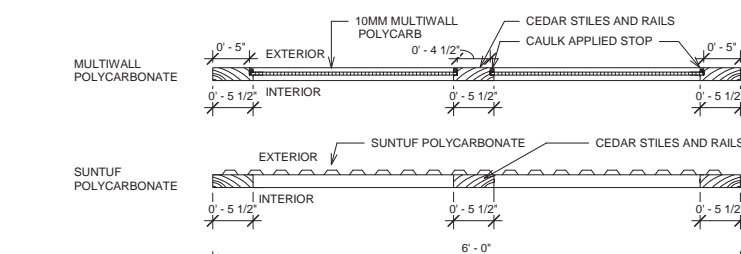


4 BARN DOOR
3" = 1'-0"

Exhibit 1



5 8' PANEL
1" = 1'-0"



6 6' PANEL
1" = 1'-0"



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DOOR DETAILS

Project status Permit Set
Date 10/2/2020
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A05
Scale As indicated

K-1

K-1

MATERIALS OF CONSTRUCTION

1	ALL HARDWARE AND FASTENERS SHALL BE HOT-DIP GALVANIZED (HDG) TO COMPLY WITH ASTM A153.				
2	FRAMING LUMBER: WWPA OR WCLIB STAMPED, TREATED DOUGLAS FIR- LARCH OF THE FOLLOWING GRADES: 2 X 4 - STANDARD GRADE 2 X 6 AND LARGER - #2 4 X POSTS AND BEAMS - #1 6 X POSTS AND BEAMS - #1				
3	PLYWOOD: APA STAMPED TREATED PLYWOOD WITH AN EXTERIOR OR EXPOSURE 1 DURABILITY CLASSIFICATION NAILED WITH COMMON NAILS. LAY-UP PLYWOOD WITH LONG DIMENSION PERPENDICULAR TO SUPPORTS AND STAGGER JOINTS. PROVIDE PLYCLIPS AT MIDSPAN OF UNSUPPORTED EDGES AT ROOFS. BLOCK ALL UNSUPPORTED EDGES AT WALLS.				
	USE	THICKNESS	SPAN INDEX	EDGE NAILING	INTERMEDIATE NAILING
	ROOF	5/8"	40/20	10d AT 6" O.C.	10d AT 12" O.C.
	WALL	5/8"	32/16	8d AT 6" O.C.	8d AT 12" O.C.

PRE-ENGINEERED WOOD TRUSSES NOTES

1	SUBMIT SHOP DRAWINGS AND ENGINEERING CALCULATIONS PRIOR TO FABRICATION. INDICATE TRUSS FRAMING PLANS, SPECIES, AND GRADES OF LUMBER USED, DESIGN LOADING AND ALLOWABLE STRESS INCREASE, FORCE ANALYSIS OF EACH MEMBER; PITCH, SPAN, AND SPACING OF TRUSSES; GAUGE THICKNESS, NOMINAL SIZE AND CONNECTOR LOCATIONS AT JOINTS; BEARINGS AND ANCHORAGE DETAILS; FRAMED OPENINGS, PERMANENT BRACING AND BRIDGING. INDICATE HEEL DIMENSION.
2	SHOP DRAWINGS AND CALCULATIONS SHALL BEAR THE SEAL AND SIGNATURE OF A STRUCTURAL ENGINEER, REGISTERED IN THE STATE OF HAWAII.
3	SUBMIT MANUFACTURER'S INSTRUCTIONS ON LATERAL BRACING.
4	MANUFACTURER TO PROVIDE ALL BLOCKING, BRIDGING, STIFFENERS, ANCHORS, AND HARDWARE AS REQUIRED FOR PROPER INSTALL.
5	MATERIAL: ALL TRUSS MEMBER COMPONENTS SHALL BE STRUCTURAL GRADE WOOD.

HARDWARE AND FASTENERS NOTES

1	ALL HARDWARE AND FASTENERS SHALL BE HOT-DIP GALVANIZED (HDG) TO COMPLY WITH ASTM A153.
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CONCRETE NOTES

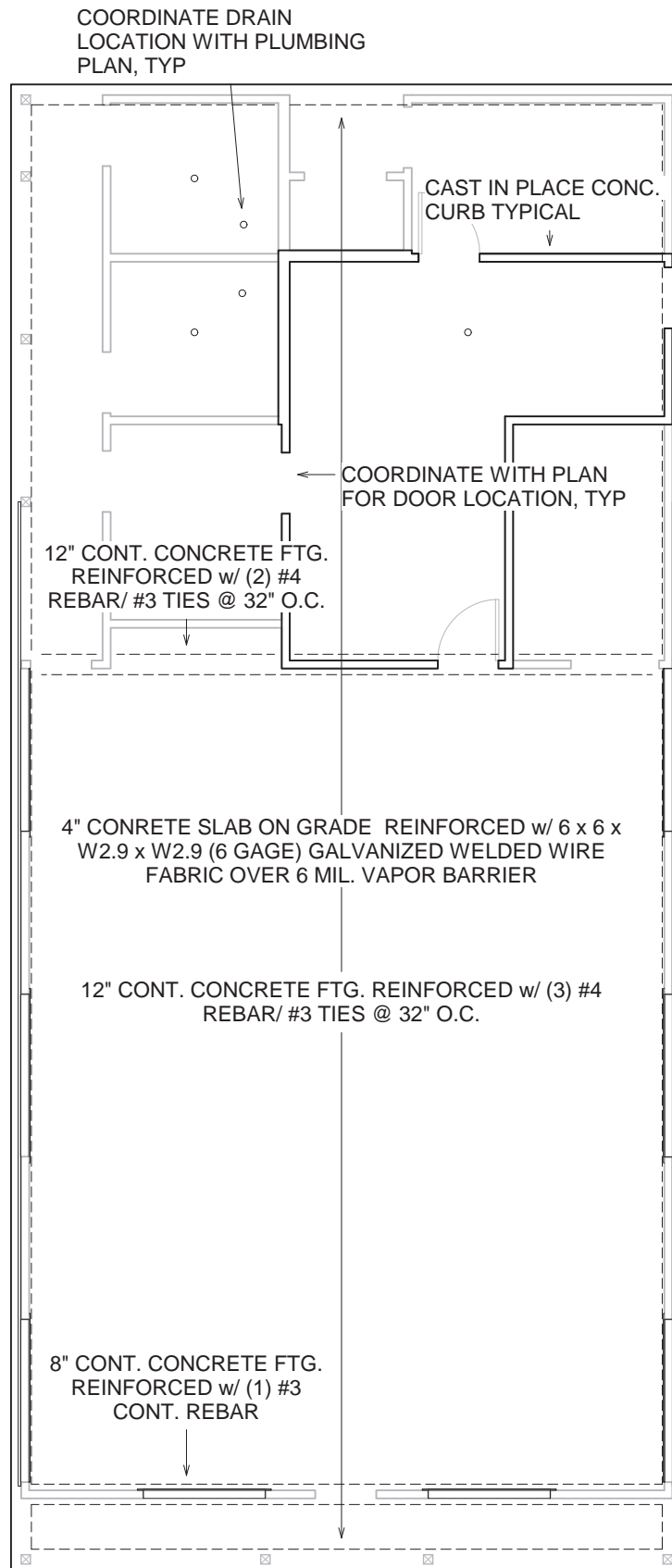
1	REINFORCE ALL CONCRETE. INSTALL ALL INSERTS, BOLTS, ANCHORS, AND REINFORCING BARS AND SECURELY TIE PRIOR TO PLACING CONCRETE.
2	CONCRETE SHALL BE HARDROCK CONCRETE AND SHALL ATTAIN THE FOLLOWING ULTIMATE COMPRESSIVE STRENGTH AT 28 DAYS. LOCATION: 28 DAY STRENGTH: FOUNDATIONS AND SLABS ON GRADE 3000 PSI
3	CONCRETE SHALL BE PLACE IN A CONTINUOUS OPERATION BETWEEN PREDETERMINED CONSTRUCTION JOINTS.
4	CONCRETE SHALL BE CONTINUOUSLY CURED FOR 7 DAYS AFTER PLACEMENT IN ANY APPROVED MANNER. FOOTINGS ARE EXCEPTED FROM THIS REQUIREMENT.
5	CONTRACTOR SHALL SUBMIT TO ENGINEER FOR REVIEW A DRAWING SHOWING ALL PROPOSED CONSTRUCTION/CONTROL JOINTS IN CONCRETE SLAB PRIOR TO COMMENCING WORK.


REINFORCING STEEL NOTES

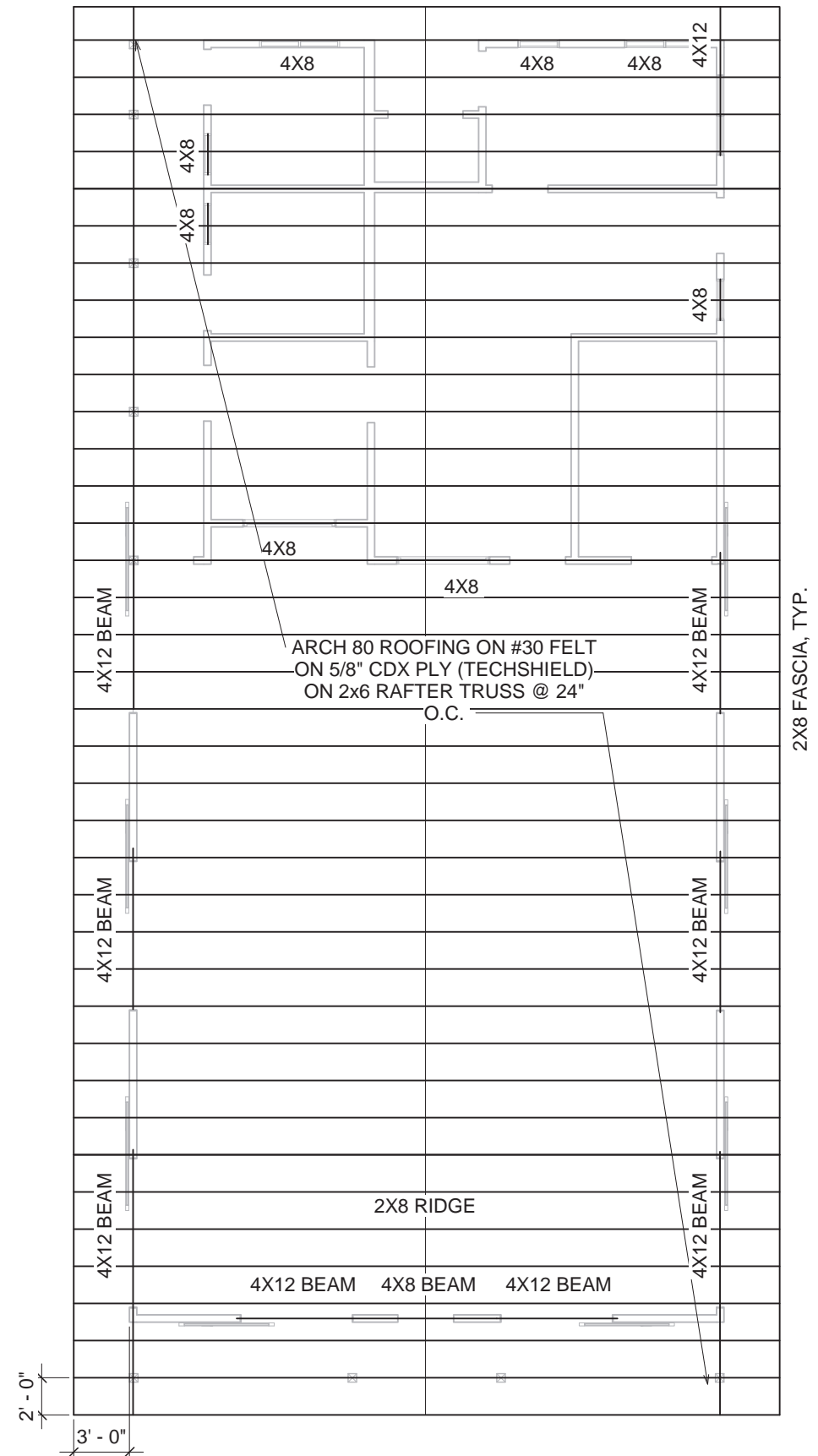
1	ALL REINFORCING STEEL BARS SHALL CONFORM WITH THE STANDARD SPECIFICATIONS FOR DEFORMED BILLET-STEEL FOR CONCRETE REINFORCEMENT, ASTM DESIGNATION A615-82, GRADE 60 UNLESS OTHERWISE NOTED.		
2	WIRE MESH SHALL CONFORM WITH ASTM A165-179. 6x6-W2.9xW2.9 (6 GAGE) GALVANIZED WELDED WIRE MESH.		
3	SUITABLE DEVICES OF SOME STANDARD MANUFACTURER SHALL BE USED TO HOLD REINFORCEMENT, INCLUDING WIRE MESH IN SLABS ON GRADE, IN ITS TRUE HORIZONTAL AND VERTICAL POSITIONS. THESE DEVICES SHALL BE SUFFICIENTLY RIGID AND NUMEROUS TO PREVENT DISPLACEMENT OF THE REINFORCEMENT DURING THE PLACING OF THE CONCRETE. ALL SUCH DEVICES SHALL HAVE PRIOR APPROVAL FROM THE STRUCTURAL ENGINEER.		
4	LAP SPICE ALL BARS A MINIMUM OF 30 BAR DIAMETERS, UNLESS OTHERWISE NOTED.		
5	REBAR COVER: ALL DIMENSIONS SHOWING THE LOCATION OF REINFORCING STEEL NOT NOTED AS "CLEAR" ARE TO CENTER OF STEEL. MINIMUM REBAR COVER FOR NONPRESTRESSED CONCRETE SHALL BE AS FOLLOWS:		
		MINIMUM COVER	TOLERANCES (+ OR -)
	CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH	3"	3/8"
	EXPOSED TO EARTH OR WEATHER BUT FORMED:		
	NO. 5 AND SMALLER BARS	1 1/2"	3/8"
	NO. 6 AND SMALLER BARS	2"	3/8"
	SLABS ON GRADE	1 1/2"	1/4"
6	TOLERANCES FOR REBAR PLACEMENT: TOLERANCES FOR LONGITUDINAL LOCATION OF BENDS AND ENDS OF REINFORCEMENT SHALL BE PLUS OR MINUS 2 INCHES, EXCEPT AT DISCONTINUOUS ENDS OF MEMBERS WHERE TOLERANCES SHALL BE PLUS OR MINUS 1/2 INCH.		

FOUNDATION NOTES

1	ASSUMED ALLOWABLE SOIL PRESSURE FOR DEAD PLUS LIVE LOADS: 2000 PSF.
2	EXCEPT WHERE OTHERWISE SHOWN, EXCAVATIONS SHALL BE MADE AS NEAR AS POSSIBLE TO THE NEAT LINES
3	REQUIRED BY THE SIZE AND SHAPE OF THE STRUCTURE. ALL FOUNDATIONS SHALL BE POURED WITHOUT THE USE OF
4	SIDE FORMS WHEREVER POSSIBLE. IF THE TRENCHES CANNOT STAND, FULLY FORM SIDES TO DIMENSIONS SHOWN
5	DO NOT ALLOW WATER TO STAND IN TRENCHES. IF BOTTOMS OF TRENCHES BECOME SOFTENED DUE TO RAIN OR
6	OTHER WATER BEFORE CONCRETE IS CAST, EXCAVATE SOFTENED MATERIAL AND REPLACE WITH PROPERLY
7	COMPACTED BACKFILL OR CONCRETE AT NO COST TO THE OWNER.
8	ALL EXCAVATIONS, FORMS AND REINFORCING ARE TO BE INSPECTED BY THE LOCAL BUILDING INSPECTOR AND
9	OBSERVED BY THE STRUCTURAL ENGINEER PRIOR TO PLACING CONCRETE



 **FOUNDATION PLAN**
SCALE: 1/4" : 1"



 ROOF FRAMING PLAN
SCALE: 1/4" : 1"

Exhibit 1



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CAMP ALLEN FAYE
TRADING POST
PAVILION

TMK (4) | -4-00 | :0 | 5

Scout Camp Allen Faye,
Waimea, HI 96796

Foundation & Roof Frame Plan

Project status	Permit Set
Date	10/2/2020

Drawn by	CM
Checked by	PH

SOI

Scale $1/4" =$

K-1



Q:\Kauai\BSA Camp Alan Faye CDUA\GIS\Project

LEGEND

- Camp Alan Faye
- Major Roads

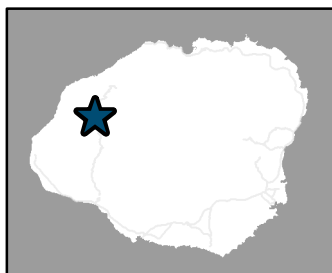


Exhibit 2

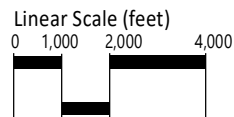
Page 1 of 2

Regional Location

Scout Camp Alan Faye

Aloha Council BSA

Kaua'i



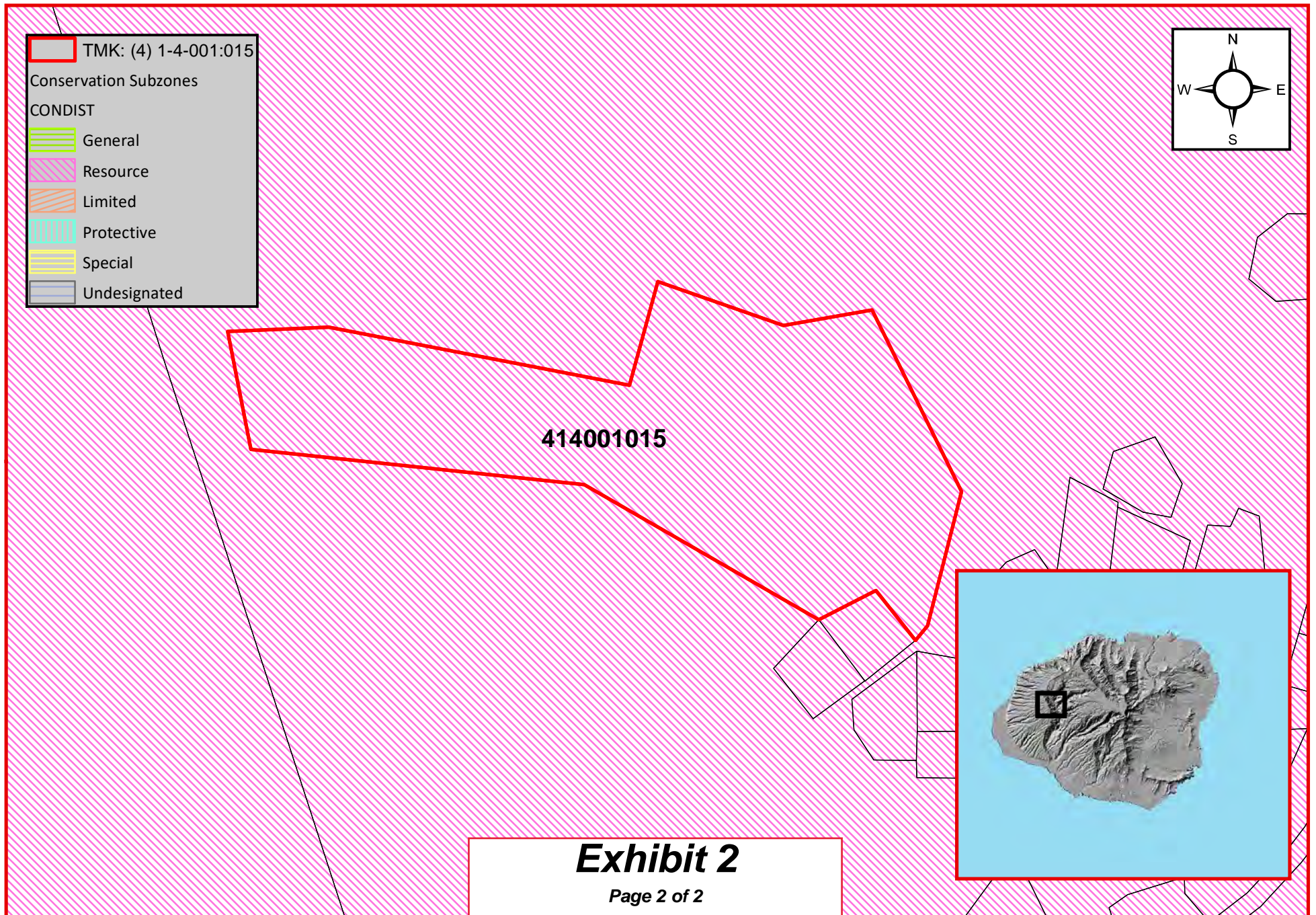
K-1

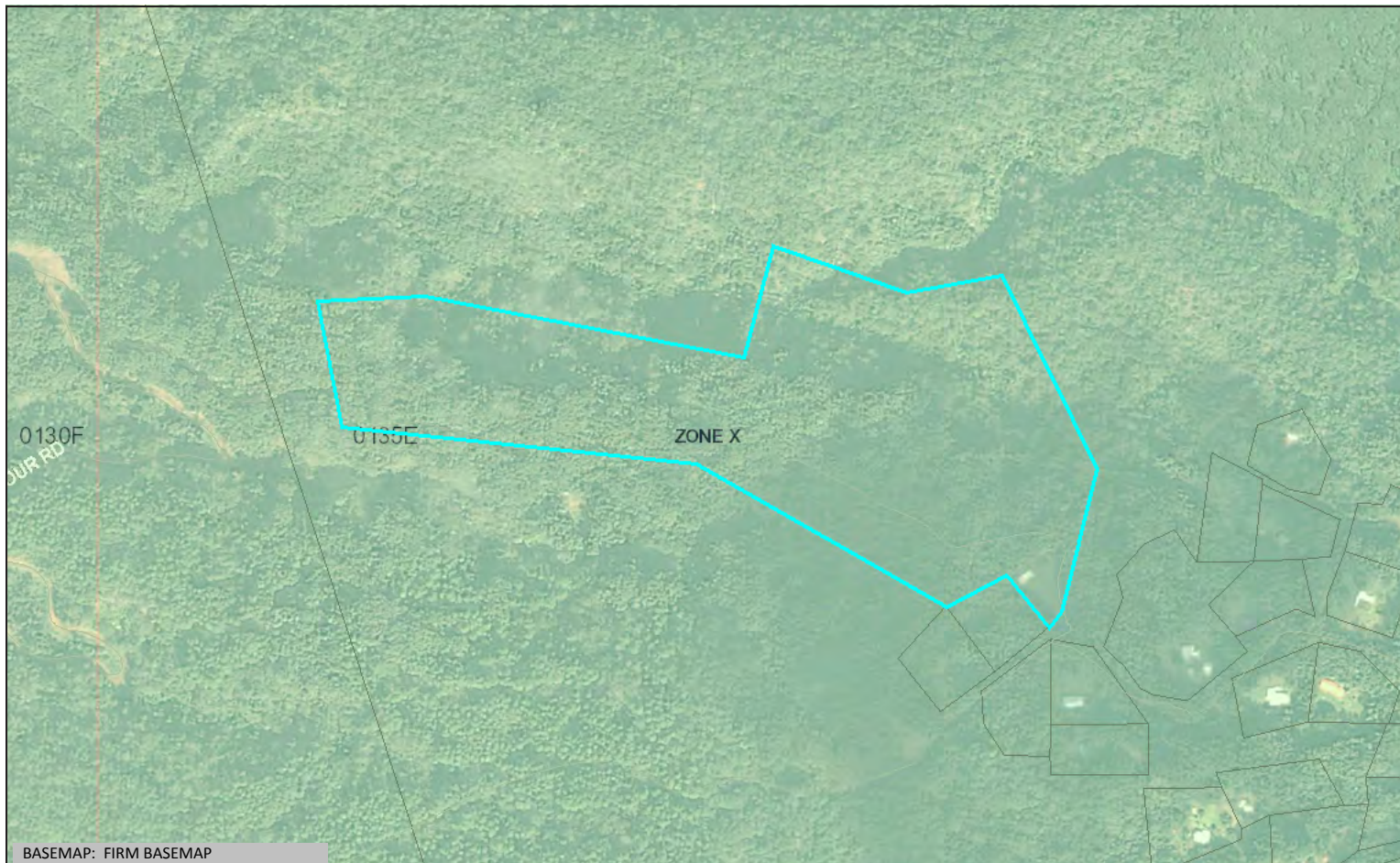
Source: County of Kaua'i, 2020. ESRI Online Basemap.

Disclaimer: This graphic has been prepared for general planning purposes only.

TMK: (4) 1-4-001:015 BSA Camp Alan Faye Parcel

0 250 500 1,000 Feet





BASEMAP: FIRM BASEMAP



Flood Hazard Assessment Report

www.hawaiiinfip.org

Property Information

COUNTY: KAUAI
 TMK NO: (4) 1-4-001:015
 WATERSHED: KAAWEIKI; KAUHAO
 PARCEL ADDRESS: ADDRESS NOT DETERMINED
 WAIMEA, HI 96796

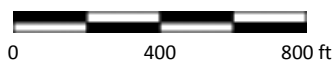
Notes:

Flood Hazard Information

FIRM INDEX DATE: FEBRUARY 26, 2021
 LETTER OF MAP CHANGE(S): NONE
 FEMA FIRM PANEL: 1500020135E
 PANEL EFFECTIVE DATE: SEPTEMBER 16, 2005

THIS PROPERTY IS WITHIN A TSUNAMI EVACUATION ZONE: NO
 FOR MORE INFO, VISIT: <http://www.scd.hawaii.gov/>

THIS PROPERTY IS WITHIN A DAM EVACUATION ZONE: NO
 FOR MORE INFO, VISIT: <http://dlnreng.hawaii.gov/dam/>



Disclaimer: The Hawaii Department of Land and Natural Resources (DLNR) assumes no responsibility arising from the use, accuracy, completeness, and timeliness of any information provided. Users are responsible for verifying the accuracy of the information and for any liability which may arise from its use of its data.

If this map has been identified as 'PRELIMINARY', please note that it is not to be used for flood insurance rating. Contact your local floodplain manager for more information.

Exhibit 3

FLOOD HAZARD ASSESSMENT TOOL LAYER LEGEND

(Note: legend does not correspond with NFHL)

SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD - The 1% annual chance flood (100-year), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. SFHAs include Zone A, AE, AH, AO, V, and VE. The Base Flood Elevation (BFE) is the water surface elevation of the 1% annual chance flood. Mandatory flood insurance purchase applies in these zones:

	Zone A: No BFE determined.
	Zone AE: BFE determined.
	Zone AH: Flood depths of 1 to 3 feet (usually areas of ponding); BFE determined.
	Zone AO: Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined.
	Zone V: Coastal flood zone with velocity hazard (wave action); no BFE determined.
	Zone VE: Coastal flood zone with velocity hazard (wave action); BFE determined.
	Zone AEF: Floodway areas in Zone AE. The floodway is the channel of stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without increasing the BFE.

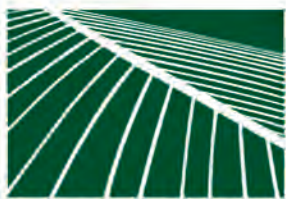
NON-SPECIAL FLOOD HAZARD AREA - An area in a low-to-moderate risk flood zone. No mandatory flood insurance purchase requirements apply, but coverage is available in participating communities.

	Zone XS (X shaded): Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.
	Zone X: Areas determined to be outside the 0.2% annual chance floodplain.

OTHER FLOOD AREAS

	Zone D: Unstudied areas where flood hazards are undetermined, but flooding is possible. No mandatory flood insurance purchase applies, but coverage is available in participating communities.
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**PBR HAWAII
& ASSOCIATES, INC.**

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February 1, 2022

Mr. Trevor Fitzpatrick, Planner
Office of Conservation and Coastal Lands
Kalanimoku Building
1151 Punchbowl St., Room 131
Honolulu, HI 96813

**SUBJECT: SUPPLEMENTAL INFORMATION TO SUPPORT THE BOY SCOUTS OF AMERICA
CAMP ALAN FAYE IMPROVEMENTS CDUA APPLICATION (KA-3886)**

Aloha Mr. Fitzpatrick,

We offer the following supplemental information in support of the Boy Scouts of America (BSA) Camp Alan Faye Improvements CDUA Application (KA-3886):

1. In response to the first comment provided on the acceptance letter, on page 9 of the CDUA, the application states, "Oli Medial Silt Loam 30-70% Slopes" and then notes "Oli Medial Silt Loam 3-70% Slopes"; the second mention should read "30-70% Slopes."
2. In response to the last comment on the acceptance letter, there is one trail on the property and two nearby trails according to the Na Ala Hele Trail system maps from the Department of Land and Natural Resources Division of Forestry and Wildlife. The trails also serve as access roads. Kauhao Ridge Road runs through the property along the southern edge. The two trails nearest to the property include Kā'aweiki Ridge Road to the south, connecting to Kauhao Ridge Road in the southeast corner of the property, and Contour Road connecting the two trails to the west of the property (see attached map). Each of these trails can be utilized by foot, bicycle, horse, and 4WD vehicles and are used for hiking, hunting, and nature study.
3. As requested, additional information on the Trading Post Pavilion and its potential historical significance can be found in the Preliminary Determination of Eligibility (PDOE) attached. The PDOE was completed by Fung Associates, Inc. personnel meeting the Secretary of the Interior's Professional Qualification Standards for Architectural Historian. The PDOE concludes that the Trading Post Pavilion lacks historical significance and does not appear to meet the criteria for listing in the National and Hawai'i Registers of Historic Places, therefore a determination of no historic properties affected is recommended.
4. As requested, we also replaced Exhibit C of the CDUA Application with an updated Literature Review and Field Inspection (LRFI) report accompanied by a cover letter from the authoring archaeologist detailing the correction made within the report.

Mahalo,

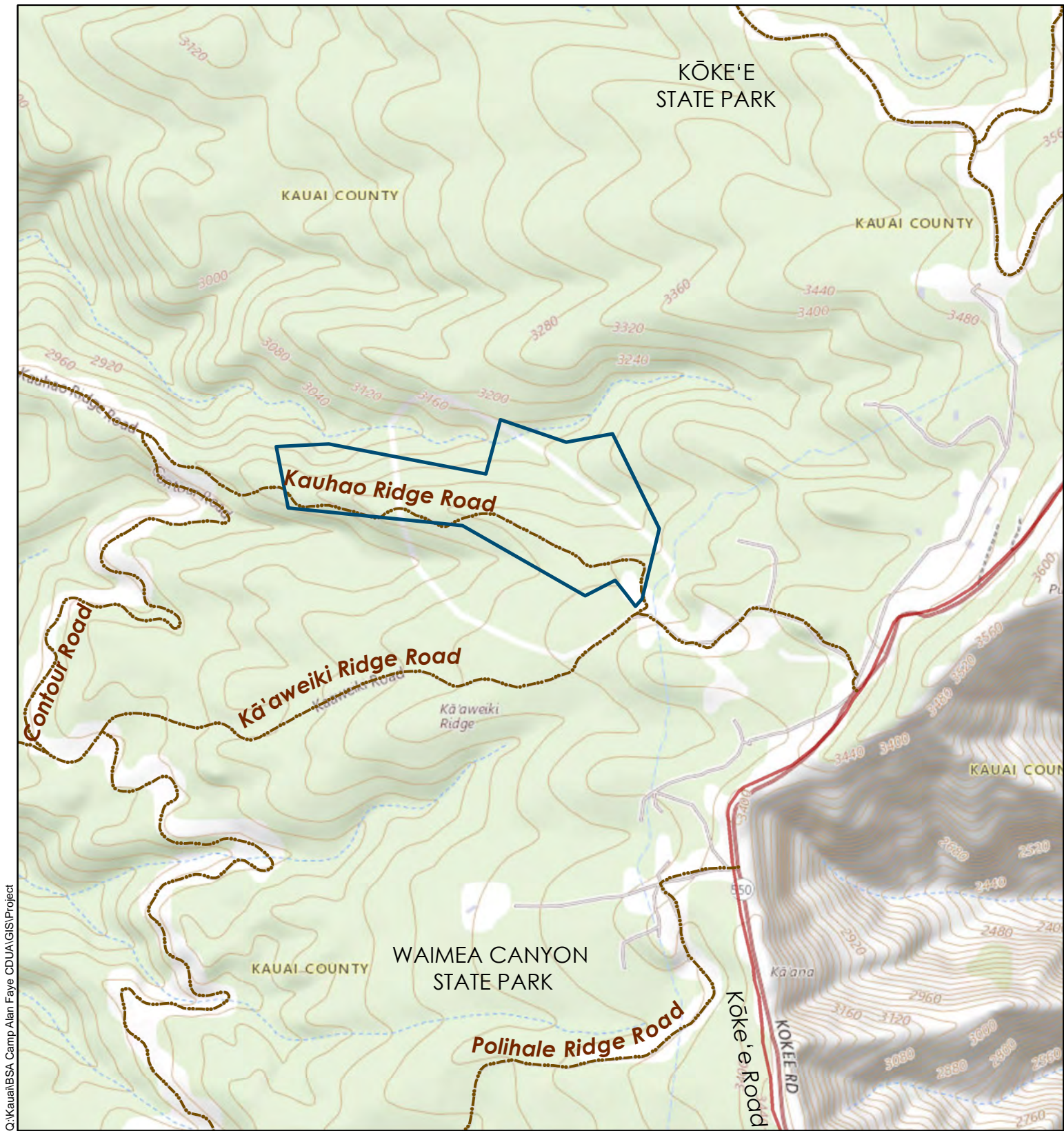
PBR HAWAII

Kimi Yuen
Vice President

Attachments:

Na Ala Hele Trails Map
Preliminary Determination of Eligibility

printed on recycled paper



LEGEND

- Project Site
- Na Ala Hele Trails
- Major Roads

Na Ala Hele Trails Scout Camp Alan Faye

Aloha Council BSA Kaua'i

North

Linear Scale (feet)

Source: DLNR DOFAW, 2020. ESRI Online Basemap.
Disclaimer: This graphic has been prepared for general planning purposes only.

Exhibit 4